

# 5 The Plan – Land Regulations

## 5.1 Introduction

This Plan establishes land use and design regulations that enable East Gateway to become a more complete community — one with conveniently located housing, employment, shopping, services, and recreation served by multi-modal transportation. The residential development and employment allowed with Sector Development Plan zoning will place existing and future residents and employees within a convenient walk, bike ride or drive to shopping, services, Rapid Ride and other transit service.

This chapter establishes SU-2 zoning for all properties within the General Design Regulations boundary. Unlike SU-1 zones that are each tailored to special uses on individual public and private properties, SU-2 zones are created to help achieve the specific goals of a sector development plan and apply to many properties within sector development plan boundaries.

All properties within the General Design Regulations boundary are given the “SU-2” designation in order to clearly indicate that they are subject to special controls as set forth in this Plan. Four special SU-2 zones have been created for the East Gateway area. The SU-2/EG-CAC, SU-2/EG-NAC, and SU-2/EG-C zones allow a wide variety of uses for properties abutting or close to Central Avenue or Eubank Boulevard. The SU-2/EG-C-2 zone allows a more limited list of uses for properties that, before the adoption of this Plan, were zoned for community commercial uses inside residential neighborhoods near Central Avenue. Properties that carry the simple “SU-2” designation rather than “SU-2/EG” retain their existing zoning.

Most properties with residential, light manufacturing, heavy commercial, or SU-1 zoning established before the adoption of this Plan are not rezoned by this Plan. SU-1 zoned properties may continue to develop with the uses assigned under the specific SU-1 designation for that property or may develop with the SU-2/EG zone uses described for the SU-2/EG zone also assigned to that property. (See Existing Zoning Map in Section 4.5 and East Gateway Zoning Maps on pages 5-12 through 5-22.)

Besides allowing a wide variety of uses, the Plan establishes building form, lot layout and site design to help make East Gateway work better for people walking, cycling, taking transit or driving. This approach enables predictable development outcomes for the developer, property owner, City review authorities and the community.

The Plan allows a wide variety of building types for new development and redevelopment on properties in the SU-2 zones. Each building type is associated with site development standards.

The Plan establishes General Design Regulations to address site, building, and public right-of-way aesthetics and function. Most general design regulations apply to the SU-2 zoned properties. A few apply to other non-residential properties.

This Plan also rezones City-owned Major Public Open Space parcels to SU-1 for Major Public Open Space to ensure their future use for these purposes. (See East Gateway Plan Zoning Map on page 5-6.)

## 5.2 Navigating the Zoning Regulations

1. Examine the following maps to determine whether your property is within the General Design Regulation boundary. If it is, then go to Section 5.3 of this chapter. Subsection 5.3.1 will help you determine if your development proposal triggers compliance with general design regulations in Section 5.6. Subsections 5.3.2 and 5.3.3 describe the approval process and approval process exceptions. If your property is not within the General Design Regulation boundary, Chapter 5 of this Plan does not apply.
2. Examine the following maps again to determine whether your property is designated SU-2/EG-CAC (Community Activity Zone), SU-2/EG-NAC (Neighborhood Activity Zone), SU-2/EG-C (Corridor Zone), or SU-2/EG-C-2 (Community Commercial Zone). If your property is located within one of these zoning districts and your development proposal triggers compliance with the uses established in one of these zoning districts, then go to the pertinent zone in Section 5.4 to determine the allowed uses. If your property does not meet the tests established by the City of Albuquerque Comprehensive City Zoning Code for nonconforming uses, then the uses listed under the pertinent zoning district apply.
3. If your property is zoned SU-2/EG-CAC, SU-2/EG-NAC, SU-2/EG-C, or SU-2/EG-C-2 and your development proposal triggers compliance with building type and lot indicated in Subsection 5.3.1, then go to Section 5.5 to choose the appropriate building type, building frontage and lot design for your development.
4. If your development proposal meets the threshold for the development compliance triggers in Section 5.3.1 of this Plan chapter and your property is zoned SU-2/EG-CAC, SU-2/EG-NAC, SU-2/EG-C, or SU-2/EG-C-2 or retains the zone established before Plan adoption, but is within the General Design Regulation boundary, then go to Section 5.6 to determine the design regulations for site, building and/or public right-of-way that apply to your property.

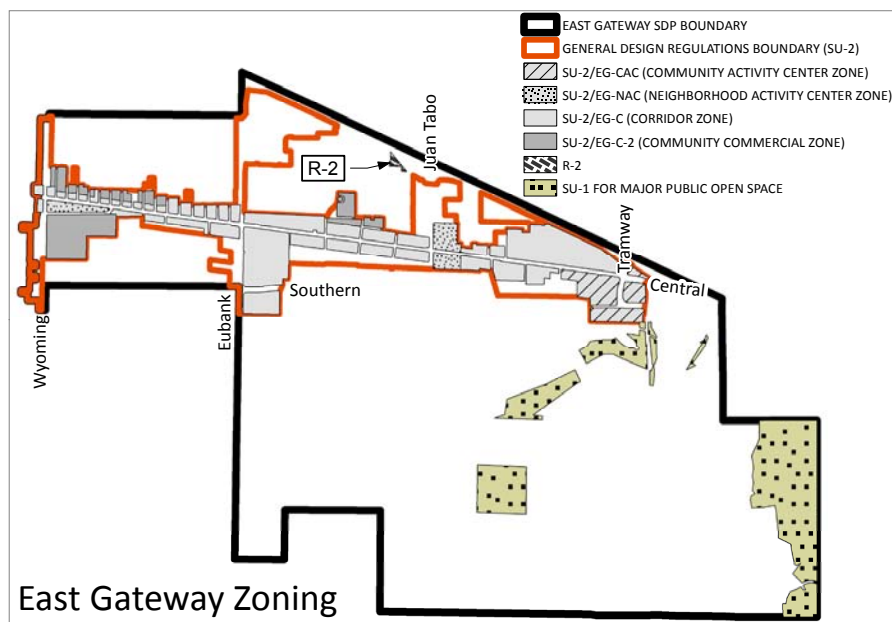


Figure 5.a: East Gateway Plan Zoning Map

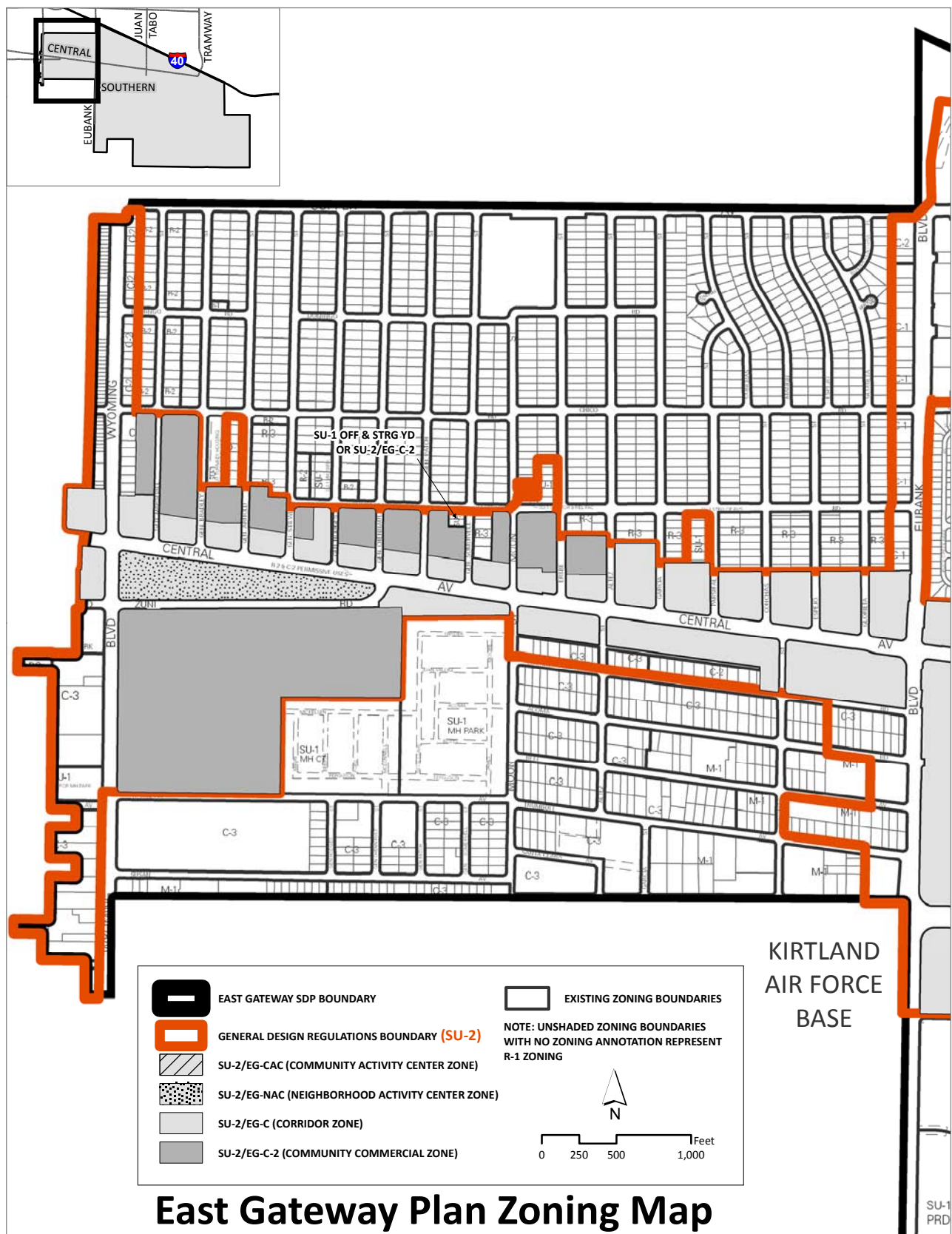


Figure 5.b: East Gateway Plan Zoning Map  
(Wyoming Boulevard - Eubank Boulevard)







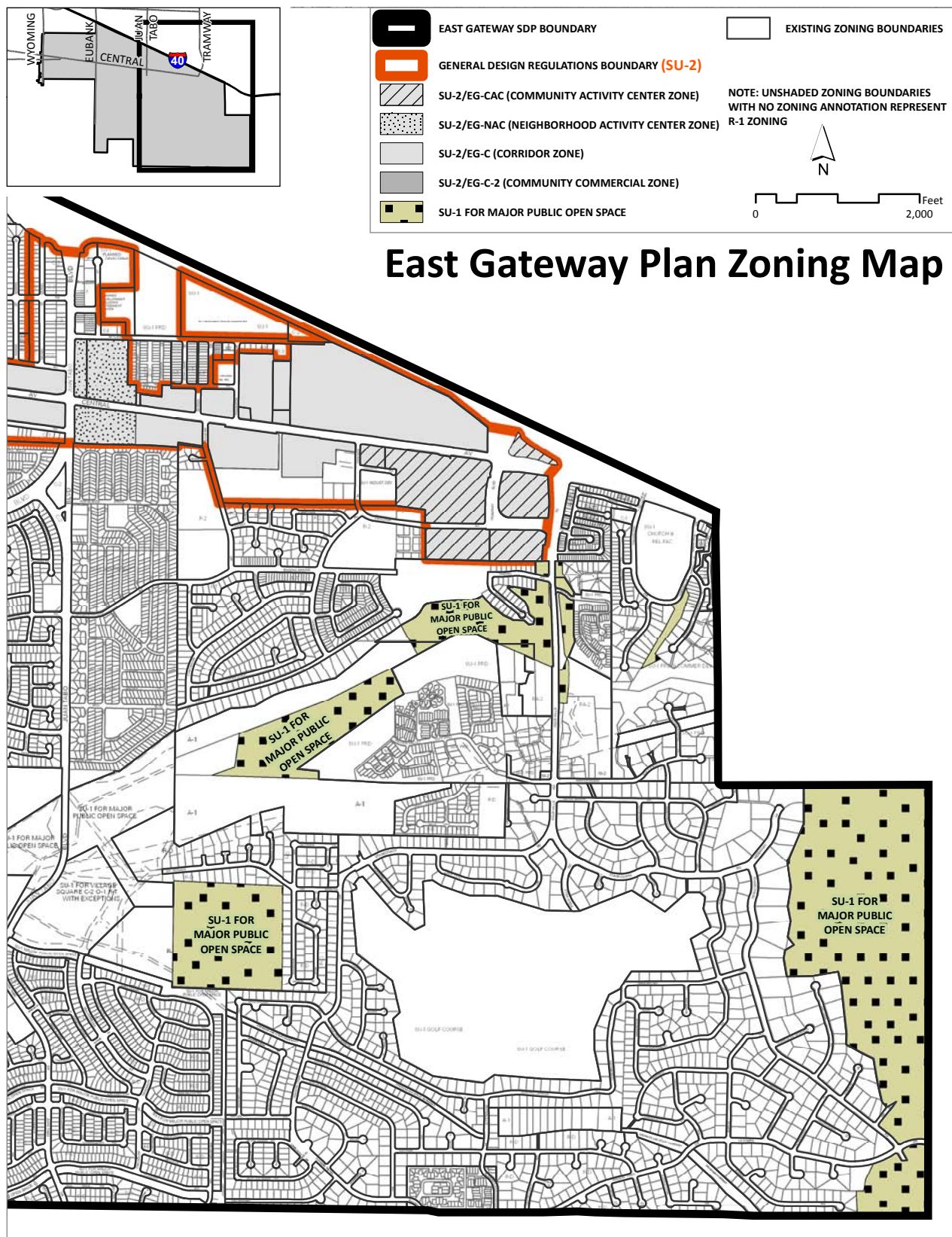


Figure 5.e: East Gateway Plan Zoning Map  
(SU-1 for Major Public Open Space)

## 5.3 Development Approval Process

This Section includes the conditions that trigger development compliance with East Gateway regulations, the development review process, and the approval process for requesting development modifications to Sector Development Plan design regulations.

### 5.3.1 Development Compliance Triggers

- A. The following development requests within East Gateway SU-2 Zones shall comply with pertinent East Gateway Sector Development Plan regulations in Sections 5.5 and 5.6 of this chapter:
  - 1. New development
  - 2. Building additions of 15% or more of existing building gross square footage
  - 3. Buildings replacing existing buildings including buildings that are destroyed by flood, fire, or natural catastrophe
  - 4. Amendments to approved SU-1 site plans that include additions of 15% or more of existing building square footage
- B. The following activities are exempt from compliance with the regulations of Sections 5.5 and 5.6 of this Plan, but shall adhere to pertinent regulations of the City of Albuquerque Comprehensive City Zoning Code:
  - 1. Repairs, remodeling and maintenance of existing structures and/or buildings including additions less than 15% gross square footage. The terms “repair” and “remodeling” shall be defined as follows:
    - a. Repair: to restore or replace elements of a structure that are broken
    - b. Remodeling: to update, replace or alter elements of a building
  - 2. Façade improvements to existing buildings
  - 3. Construction of a replacement building after involuntary damage to or destruction of existing building (such as fire damage)
- C. East Gateway Sector Development Plan SU-2 Zone designation may cause some permissive and conditional uses existing at the time of Plan adoption to become nonconforming uses. (NOTE: SU-2 zones other than SU-2/EG-CAC, SU-2/EG-NAC, SU-2/EG-C, and SU-2/EG-C-2 retain their underlying zoning without any limitation on use and are only given the “SU-2” designation to clearly indicate that they are subject to the General Design Regulations in this Plan.) These uses shall be considered nonconforming uses as provided in the City of Albuquerque Comprehensive City Zoning Code.



### 5.3.2 Development Approval Process

Development occurring within the East Gateway General Design Regulations boundary requires approval as outlined below.

Approval Body	Development Type	Notification
Building Permit Staff	All three of the following conditions are necessary: <ul style="list-style-type: none"><li>• Site less than 5 acres excepting site with SU-1 zoning</li><li>• Proposed Use is a Permissive Use</li><li>• Development complies with Building and Lot Standards in Section 5.5 of this chapter and General Design Regulations in Section 5.6 of this chapter</li></ul>	No Public Notification is required
Administrative Review and Approval by Planning Director or Designee preceded by Pre-Application Meeting with the Pre-Application Review Team (PRT)	Site 5 acres or greater except for a Large Retail Facility as defined in the City Zoning Code	No Public Notification is required
ZHE	Conditional Use	Public Notification is required
EPC	One or more of the following conditions: <ul style="list-style-type: none"><li>• Site with SU-1 zoning that meets the thresholds for EPC review in 14-16-2-22 of the City Zoning Code</li><li>• A Large Retail Facility as defined in the City Zoning Code</li><li>• Not a Permissive Use</li><li>• Development that deviates 10% or more from dimensional Building and Lot Standards in Section 5.5 of this chapter</li><li>• Development does not comply with General Design Regulations in Section 5.6 of this chapter</li></ul>	Public Notification is required



### **5.3.3 Requests to Deviate from Sector Development Plan Building and Lot Standards in Section 5.5 of this Chapter and General Design Regulations in Section 5.6 of this Chapter**

The building and lot standards in Section 5.5 of this chapter and General Design Regulation in Section 5.6 of this chapter are specific and prescriptive to provide certainty for applicants, neighborhoods, and City development reviewers. It is not the intent of these regulations to limit design creativity or ignore unusual site conditions. As such, the following two levels of modifications to the zoning regulations are allowed:

- A. Minor: The Planning Director or his/her designee may approve, or choose to refer to the EPC, deviations from non-dimensional standards or of less than 10% from any dimensional standard.
- B. Major: Any deviation of 10%-20% from any dimensional standard shall be reviewed by the EPC via the site development plan approval process; deviations of 20% or more are not allowed. In order for the EPC to grant the deviation(s) and approve the site development plan, the applicant must demonstrate that 1) the original standard(s) cannot be reasonably met without substantial hardship, due to the uniqueness of the site, and 2) applicable goals, policies and intents of the East Gateway Sector Development Plan are still met, even with the proposed deviation(s).

## 5.4 The SU-2/EG Zoning Districts

**Chapter Subsection 5.4** contains four SU-2/EG zoning districts for community activity centers, neighborhood activity centers, major street corridor segments between activity centers, and formerly C-2 zoned land within residential neighborhoods. The zoning districts establish permissive and conditional uses for properties that do not meet the requirements to be nonconforming uses. Building, lot, and building façade types for new construction in these zones are located in Section 5.5 of this Plan chapter. General regulations for site, building and public right-of-way are located in Section 5.6 of this chapter. General regulations apply to properties zoned in Section 5.4 of this Plan.

The four SU-2/EG zones established by this Plan are 1) East Gateway Community Activity Center Zone (SU-2/EG-CAC), 2) East Gateway Neighborhood Activity Center Zone (SU-2/EG-NAC), 3) East Gateway Corridor Zone (SU-2/EG-C), and 4) East Gateway Community Commercial Zone (SU-2/EG-C-2).

**Properties already zoned SU-1 may continue to develop with the uses assigned under the specific SU-1 designation for that property or may develop with the SU-2/EG zone uses described for the SU-2/EG zone also assigned to that property. However, previously approved site development plans that add 15% or more gross building square footage to previously approved building gross square footage shall comply with pertinent parts of Sections 5.5 and 5.6 of this Plan.**

### 5.4.1 SU-2 East Gateway Community Activity Center Zone (SU-2/EG-CAC)

#### ZONE INTENT

This zoning district enables future mixed-use redevelopment of an area at the Central Avenue/Tramway Boulevard intersection already designated a Community Activity Center by the Albuquerque/Bernalillo County Comprehensive Plan. (See maps of these properties following permissive uses of this zone.)

Community Activity Centers are usually between 30 and 60 acres. They can be larger. Their buildings, streets, and walkways are pedestrian-oriented in design and are intended to provide a mixture of some or all of the following uses: stores, offices, medical services, day care, entertainment, higher-density residences, and/or institutions like schools, libraries, and other public services.

Community Activity Centers are generally spaced to serve people living within a radius of up to three miles. Community Activity Centers are prime locations for transit hubs because they serve concentrations of residents, employees, shoppers, and people accessing entertainment.

*(Albuquerque / Bernalillo County Comprehensive Plan Table 22: Policy, a. Types of Activity Centers)*

#### PERMISSIVE USES

1. Uses listed as permissive in 14-16-2-17 C -2 Community Commercial Zone, with the following exceptions:
  - a. Signs: On-premise signs are permitted as regulated in the O-1 Zone 14-16-2-15 and General Sign Regulations 14-16-3-5 of the City Zoning Code.
  - b. Vehicle washing is allowed only when located within a parking structure.
  - c. Wireless Telecommunications Facility is allowed only if it is attached to a building.

2. Apartments as defined in the City Zoning Code and controlled in the East Gateway Building Types (Section 5.5 of this Plan) and General Design Regulations (Section 5.6 of this Plan).
3. Live/Work Space in the form of an individual unit, building, or multiple buildings on one premise that are used for both residence and business with residents responsible for the business activity conducted on location. No separation between residential and business activities is required. Live/Work Spaces shall include residences and may include one or more of the following uses:
  - a. Office
  - b. Retail sales of the following goods, plus incidental service and repair and incidental retailing of related goods:
    - Arts and crafts objects and supplies
    - Books, magazines, newspapers, stationery
    - Cosmetics, notions, hobby supplies
    - Flowers and plants
    - Jewelry
    - Clothing
  - c. Services:
    - Barber, beauty
    - Day care center
    - Instruction in music, dance, fine arts or crafts
    - Photography, except adult photo studio
    - Tailoring, dressmaking
  - d. Arts and crafts production and manufacturing businesses that comply with federal, state, and local environmental regulations and use 2,000 square feet or less of space. See the Uniform Administrative and Technical Codes (Chapter 14, Article 1, ROA 1994), Fire Code (Chapter 14, Article 2, ROA 1994), and Uniform Housing Code (Chapter 14, Article 3, ROA 1994).
  - e. Residential floor space that is a minimum of 300 square feet per unit for the first residential occupant and 150 square feet per unit for each additional residential occupant.
  - f. Units and buildings shall comply with 14-2-1 Fire Code and currently adopted Building Code for using kilns, centrifugal casting, spray-painting booths, and other art manufacturing processes.
  - g. Odors and noise from arts and crafts or manufacturing processes shall not be detectable outside the building unit where these processes are occurring.
  - h. Signs may be no more than 8 square feet in area and shall be located on the building wall no higher than the first floor.
4. Transit stops and transit facilities
5. Religious Institution: A building, together with its accessory buildings and use, where persons regularly assemble for religious purposes and related social events and which building, together with its accessory buildings and uses, is maintained and controlled by a religious body organized to sustain religious ceremonies and purposes.

## PROHIBITED USES

1. Adult store and adult amusement establishment
2. Drive-up and drive-in facilities
3. Gasoline, oil, and other liquid vehicle fuel sales
4. New off-premise signs
5. Parking lots as an individual use rather than required on-site parking
6. Taxidermy services
7. Vehicle sales, rental, service repair or storage
8. Vehicle washing, unless located within a parking structure

## CONDITIONAL USES

No conditional uses are listed.

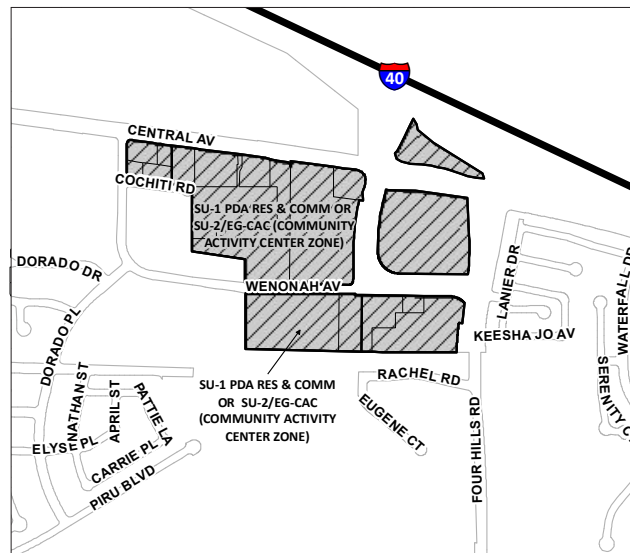


Figure 5.f: East Gateway Sector Development Plan  
SU-2/EG-CAC (Community Activity Center) Zone

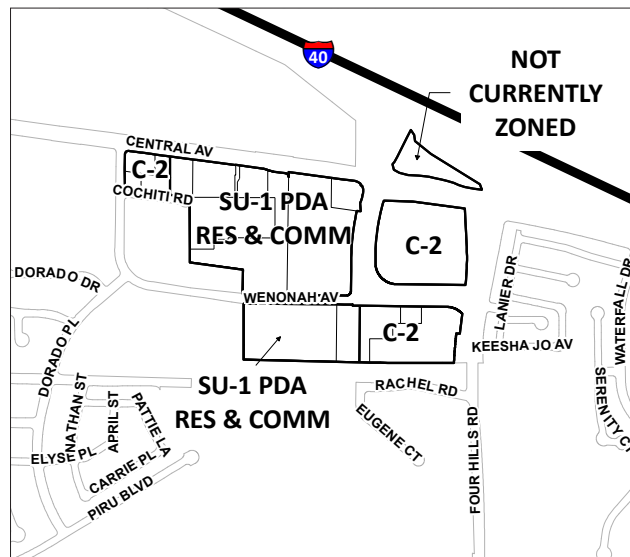


Figure 5.g: Zoning Predating the  
East Gateway Sector Development Plan



## 5.4.2 SU-2 East Gateway Neighborhood Activity Center Zone (SU-2/EG-NAC)

### ZONE INTENT

This zoning district enables the future development of two areas this Plan designates as Neighborhood Activity Centers: one at the Central Avenue/Juan Tabo Boulevard intersection and another at the Central Avenue/Wyoming Boulevard intersection. (See maps of these properties following the description of permissive uses of this zone.)

Neighborhood Activity Centers are usually between 5 and 15 acres. Their buildings, streets, and walkways are pedestrian-oriented in design. They are intended to provide mixtures of services and residential building types not found within single-family residential neighborhood interiors.

Buildings in Neighborhood Activity Centers are smaller in scale than Community Activity Centers. They should be easily accessible destinations for nearby residents and others, making it possible for nearby residents and transit riders to access local services within a one-quarter to half-mile walk.

*(Albuquerque / Bernalillo County Comprehensive Plan Table 22: Policy, a. Types of Activity Centers)*

### PERMISSIVE USES

1. Uses listed as permissive in 14-16-2-16 C-1 Neighborhood Commercial Zone, with the following exceptions:
  - a. Drive-up facilities are allowed for pharmacies and banking, but not pawn, as long as they comply with all of the applicable provisions of this Chapter, including, but not limited to, the standards in Section 5.6.14.D of the General Design Regulations.
  - b. Residential Uses permissive in the R-3 zone are allowed, but are not required to comply with the C-1 zone minimum acreage requirement.
  - c. Signs: On-premise signs are permitted as regulated in the O-1 Zone 14-16-2-15 and General Sign Regulations 14-16-3-5 of the City Zoning Code.
  - d. Wireless Telecommunications Facility is allowed only if it is attached to a building.
2. Townhouses and Apartments as defined in the City Zoning Code and controlled in the East Gateway Building Types (Section 5.5 of this Plan) and General Design Regulations (Section 5.6 of this Plan).
3. Live/Work Space in the form of an individual unit, building, or multiple buildings on one premise that are used for both residence and business with residents responsible for the business activity conducted on location. No separation between residential and business activities is required. Live/Work Spaces shall include residences and may include one or more of the following uses:
  - a. Office
  - b. Retail sales of the following goods, plus incidental service and repair and incidental retailing of related goods:
    - Arts and crafts objects and supplies
    - Books, magazines, newspapers and stationery

- Cosmetics, notions, hobby supplies
  - Flowers and plants
  - Jewelry
  - Clothing
- c. Services:
- Barber, beauty
  - Day care center
  - Instruction in music, dance, fine arts or crafts
  - Photography, except adult photo studio
  - Tailoring, dressmaking
- d. Arts and crafts production and manufacturing businesses that comply with federal, state, and local environmental regulations and use 2,000 square feet or less space. See the Uniform Administrative and Technical Codes (Chapter 14, Article 1, ROA 1994), Fire Code (Chapter 14, Article 2, ROA 1994), and Uniform Housing Code (Chapter 14, Article 3, ROA 1994).
- e. Residential floor space that is a minimum of 300 square feet per unit for the first residential occupant and 150 square feet per unit for each additional residential occupant.
- f. Units and buildings shall comply with 14-2-1 Fire Code and currently adopted Building Code for using kilns, centrifugal casting, spray-painting booths, and other art manufacturing processes.
- g. Odors and noise from arts and crafts or manufacturing processes shall not be detectable outside the building unit where these processes are occurring.
- h. Signs may be no more than 8 square feet in area and shall be located at a maximum height of 15 feet above grade or at the top of the first floor, whichever is lower.
4. Transit stops and transit facilities

#### PROHIBITED USES

1. Adult store and adult amusement establishment
2. Drive-up and drive-in facilities, except for banks and pharmacies, which are permitted as long as they comply with all of the applicable provisions of this Chapter, including, but not limited to, the standards in Section 5.6.14.D of the General Design Regulations
3. Gasoline, oil, and other liquid vehicle fuel sales
4. New off-premise signs
5. Parking lots as an individual use rather than required on-site parking
6. Taxidermy services

#### CONDITIONAL USES

No conditional uses are listed.

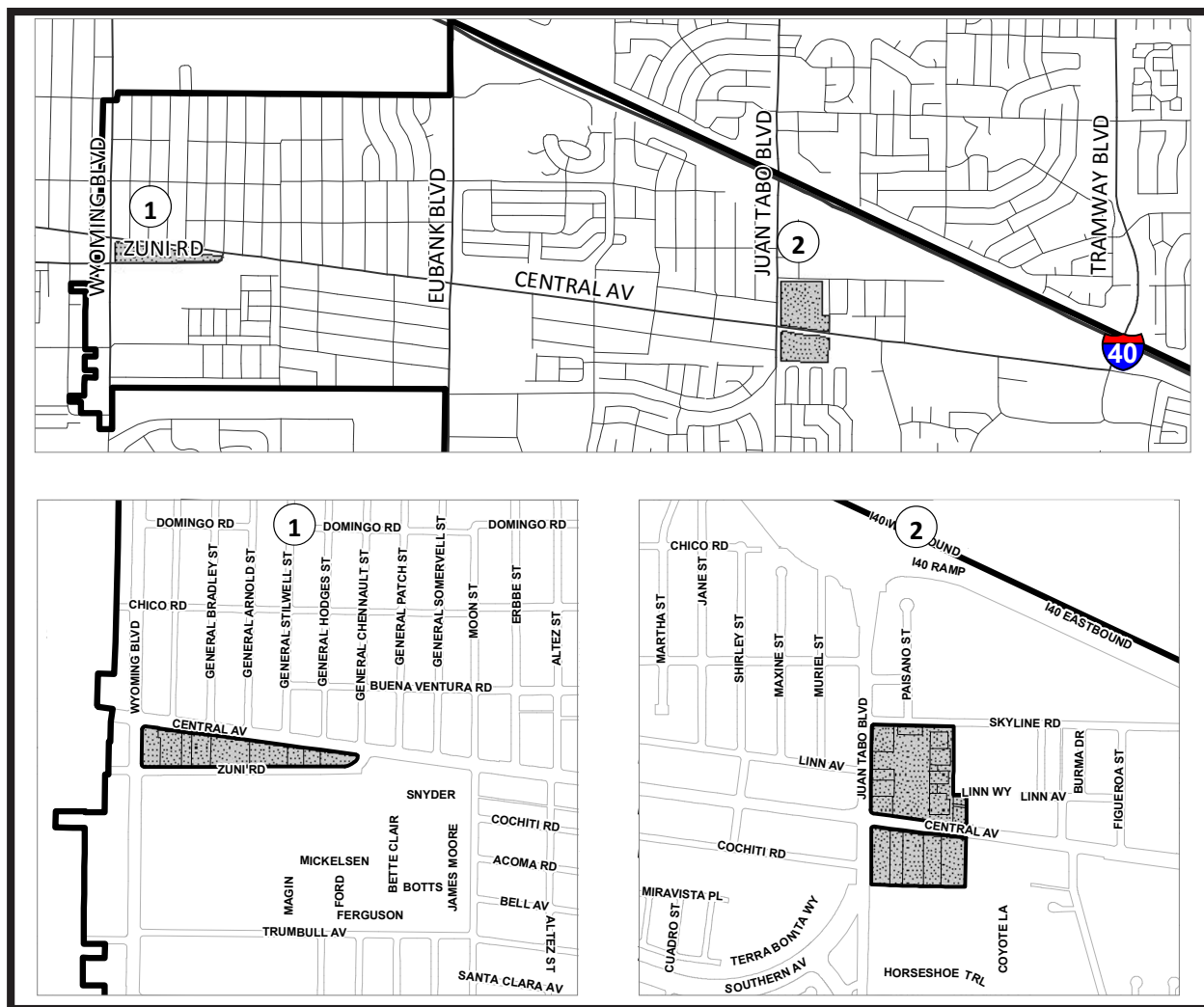


Figure 5.h: East Gateway Sector Development Plan SU-2/EG-NAC (Neighborhood Activity Center) Zone

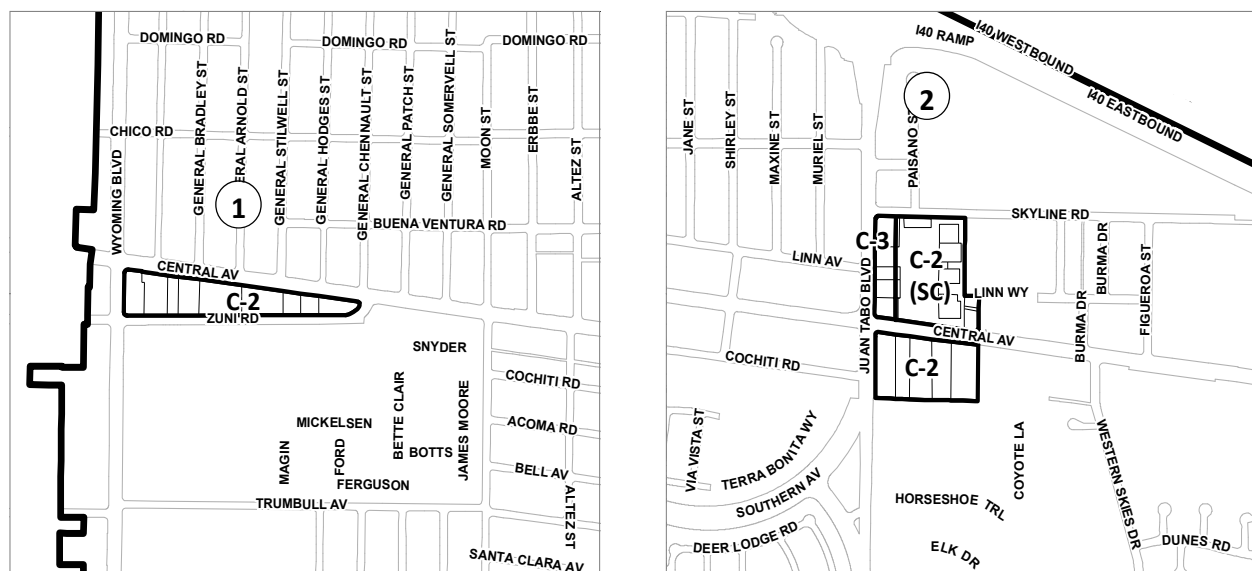


Figure 5.i: Zoning Predating the East Gateway Sector Development Plan

### 5.4.3 SU-2 East Gateway Corridor Zone (SU-2/EG-C)

#### ZONE INTENT

The SU-2/EG-C (Corridor Zone) enables the future development of a mixture of non-residential and residential uses that should support a multi-modal environment and encourage legitimate activity along the street between community and neighborhood activity centers. This zoning district is applied to most Plan area properties adjacent to Central Avenue or abutting the east side of Eubank Boulevard from Central Avenue through Southern Avenue. (See maps of these properties following permissive uses of this zone.)

The Corridor Zone allows existing businesses to continue. In addition to a wide variety of commercial uses, it allows residential and manufacturing uses not allowed in these locations before the adoption of this Plan.

#### PERMISSIVE USES

1. Uses listed as permissive in 14-16-2-17 C -2 Community Commercial Zone, with the following exceptions:
  - a. Signs: On-premise signs are permitted as regulated in the O-1 Zone 14-16-2-15 and General Sign Regulations 14-16-3-5 of the City Zoning Code.
  - b. Wireless Telecommunications Facility is allowed only if it is attached to a building.
2. Townhouses and Apartments as defined in the City of Albuquerque Comprehensive City Zoning Code and controlled in the East Gateway Building Types (Section 5.5 of this Plan) and General Design Regulations (Section 5.6 of this Plan).
3. Live/Work Space in the form of an individual unit, building, or multiple buildings on one premise that are used for both residence and business with residents responsible for the business activity conducted on location. No separation between residential and business activities is required. Live/Work Spaces shall include residences and may include one or more of the following uses:
  - a. Office
  - b. Retail sales of the following goods, plus incidental service and repair and incidental retailing of related goods:
    - Arts and crafts objects and supplies
    - Books, magazines, newspapers, stationery
    - Cosmetics, notions, hobby supplies
    - Flowers and plants
    - Jewelry
    - Clothing
  - c. Services:
    - Barber, beauty
    - Day care center
    - Instruction in music, dance, fine arts or crafts
    - Photography, except adult photo studio
    - Tailoring, dressmaking
  - d. Arts and crafts production and manufacturing businesses that comply with federal, state, and local environmental regulations and use 2,000 square feet or less space. See the Uniform Administrative and Technical Codes (Chapter



- 14, Article 1, ROA 1994), Fire Code (Chapter 14, Article 2, ROA 1994), and Uniform Housing Code (Chapter 14, Article 3, ROA 1994).
- e. Residential floor space that is a minimum of 300 square feet per unit for the first residential occupant and 150 square feet per unit for each additional residential occupant.
  - f. Units and buildings shall comply with 14-2-1 Fire Code and currently adopted Building Code for using kilns, centrifugal casting, spray-painting booths, and other art manufacturing processes.
  - g. Odors and noise from arts and crafts or manufacturing processes shall not be detectable outside the building unit where these processes are occurring.
  - h. Signs may be no more than 8 square feet in area and shall be located at a maximum height of 15 feet above grade or at the top of the first floor, whichever is lower.
- 4. Retail business in which products are manufactured, compounded, processed, assembled or treated, as an accessory use, including carpentry, plumbing, sheet-metal working, upholstering, sign painting, making of metal stamps, catering, baking, confectionery making, or jewelry or curio making, provided:
    - a. All activities are conducted within a completely enclosed building.
    - b. Activities or products do not produce odor, dust, smoke, noise, or vibration outside the building.
  - 5. Manufacturing, assembling, treating, repairing, or rebuilding articles permissive in the M-1 zone, provided:
    - a. All activities are conducted within a completely enclosed building.
    - b. Activities or products do not produce odor, dust, smoke, noise, or vibration outside the building.
  - 6. Religious Institution: A building, together with its accessory buildings and use, where persons regularly assemble for religious purposes and related social events and which building, together with its accessory buildings and uses, is maintained and controlled by a religious body organized to sustain religious ceremonies and purposes.
  - 7. Transit stops and transit facilities

#### PROHIBITED USES

- 1. Adult store and adult amusement establishment
- 2. New off-premise signs
- 3. Parking lots as an individual use rather than required on-site parking

#### CONDITIONAL USES

No conditional uses are listed.



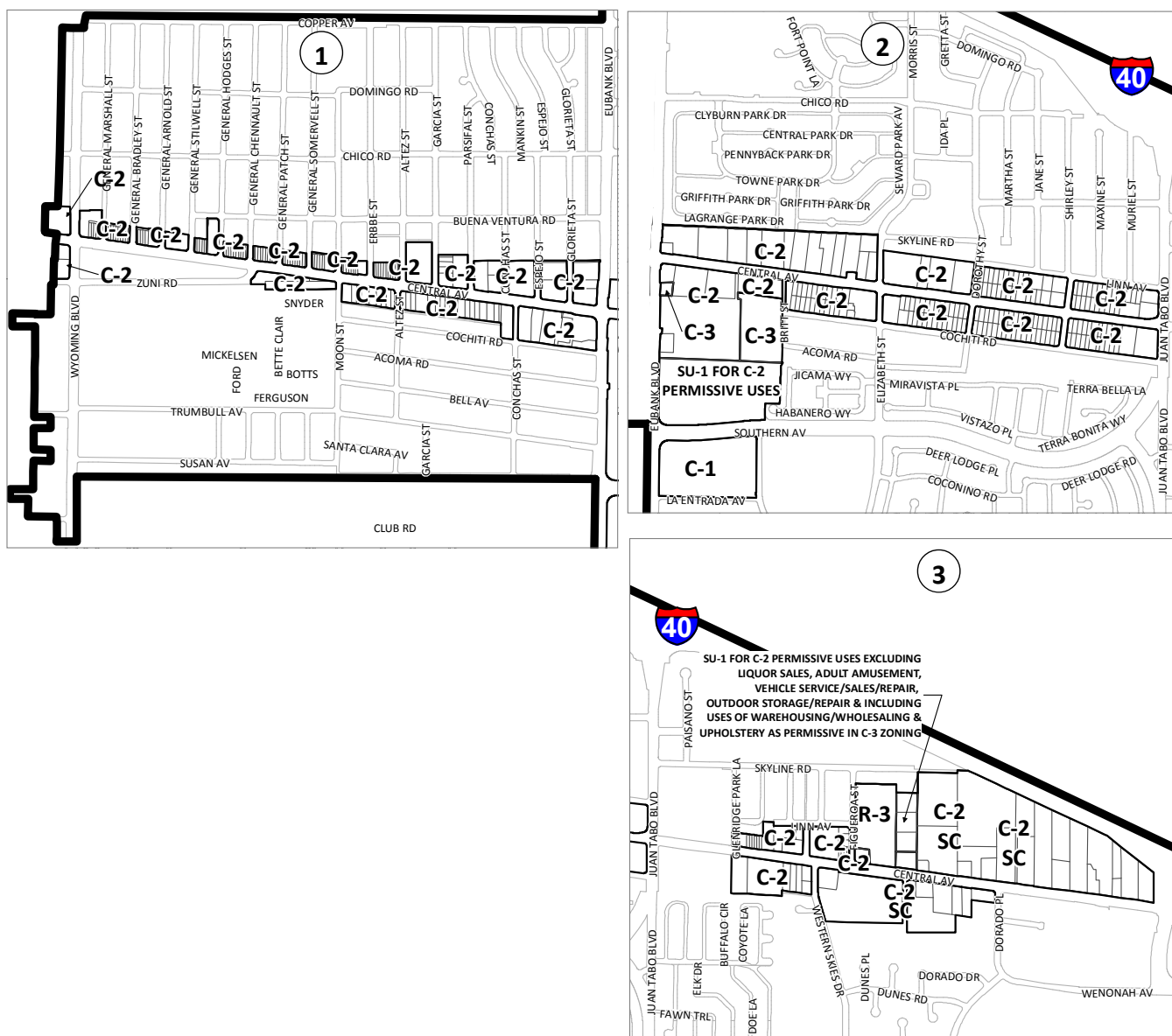


Figure 5.k: Zoning Predating the East Gateway Sector Development Plan

#### 5.4.4 SU-2 East Gateway Community Commercial Zone (SU-2/EG-C-2)

##### ZONE INTENT

The SU-2/EG-C-2 (Community Commercial Zone) is applied to Plan area properties located away from major arterial streets, but zoned C-2 or SU-1 for community commercial purposes before the Sector Plan was adopted. This zoning district excludes some C-2 uses that are not compatible within residential neighborhoods. It allows existing mobile home parks that were nonconforming uses in the C-2 zone to become conditional uses. It also allows additional uses that will provide a better transition between properties lining East Gateway's major streets and residential neighborhoods. (See maps of these properties following conditional uses of this zone.)

##### PERMISSIVE USES

1. Uses listed as permissive in 14-16-2-17 C-2 Community Commercial Zone, with the following exceptions:
  - a. Residential uses permissive in the R-3 zone are allowed, but are not required to comply with the C-1 zone minimum acreage requirement.
  - b. Signs: On-premise signs are permitted as regulated in the O-1 Zone 14-16-2-15 and General Sign Regulations 14-16-3-5 of the City Zoning Code.
  - c. Wireless Telecommunications Facility is allowed only if it is attached to a building.
2. Townhouses and Apartments as defined in the City of Albuquerque Comprehensive City Zoning Code and controlled in the East Gateway Building Types (Section 5.5 of this Plan) and General Design Regulations (Section 5.6 of this Plan).
3. Live/Work Space in the form of an individual unit, building, or multiple buildings on one premise that are used for both residence and business with residents responsible for the business activity conducted on location. No separation between residential and business activities is required. Live/Work Spaces shall include residences and may include one or more of the following uses:
  - a. Office
  - b. Retail sales of the following goods, plus incidental service and repair and incidental retailing of related goods:
    - Arts and crafts objects and supplies
    - Books, magazines, newspapers, stationery
    - Cosmetics, notions, hobby supplies
    - Flowers and plants
    - Jewelry
    - Clothing
  - c. Services:
    - Barber, beauty
    - Day care center
    - Instruction in music, dance, fine arts or crafts
    - Photography, except adult photo studio
    - Tailoring, dressmaking
  - d. Arts and crafts production and manufacturing businesses that comply with federal, state, and local environmental regulations and use 2,000 square feet or less space. See the Uniform Administrative and Technical Codes (Chapter



- 14, Article 1, ROA 1994), Fire Code (Chapter 14, Article 2, ROA 1994), and Uniform Housing Code (Chapter 14, Article 3, ROA 1994).
- e. Residential floor space that is a minimum of 300 square feet per unit for the first residential occupant and 150 square feet per unit for each additional residential occupant.
  - f. Units and buildings shall comply with 14-2-1 Fire Code and currently adopted Building Code for using kilns, centrifugal casting, spray-painting booths, and other art manufacturing processes.
  - g. Odors and noise from arts and crafts or manufacturing processes shall not be detectable outside the building unit where these processes are occurring.
  - h. Signs may be no more than 8 square feet in area and shall be located at a maximum height of 15 feet above grade or at the top of the first floor, whichever is lower.
4. Religious Institution: A building, together with its accessory buildings and use, where persons regularly assemble for religious purposes and related social events and which building, together with its accessory buildings and uses, is maintained and controlled by a religious body organized to sustain religious ceremonies and purposes.

#### PROHIBITED USES

- 1. Adult store and adult amusement establishment
- 2. Alcoholic drink sales
- 3. Antennas
- 4. Circus or carnival operations
- 5. Off-premise signs
- 6. Parking lots as an individual use rather than required on-site parking
- 7. Vehicle sales, rental, service, repair and storage

#### CONDITIONAL USES

- 1. Mobile Home Parks as regulated in the City Zoning Code in the MH zone. Existing mobile home parks are considered approved conditional uses.



Figure 5.l: East Gateway Sector Development Plan SU-2/EG-C-2 (Community Commercial) Zone

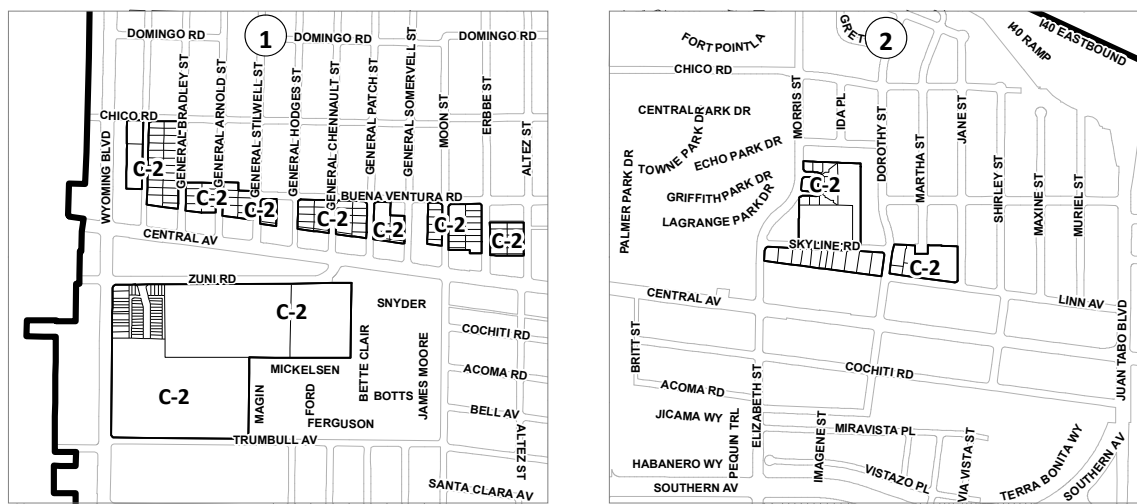


Figure 5.m: Zoning Predating the East Gateway Sector Development Plan

## 5.5 Building Types

The following basic building types are allowed for new development and redevelopment on East Gateway SU-2/EG zoned properties. The following pages provide details of each building type, lot requirements, building lot coverage, building height and size, on-site parking locations, building front façade types and front yard requirements associated with them.

BUILDING TYPES	COMMUNITY ACTIVITY CENTER ZONE (SU-2/EG-CAC)	NEIGHBORHOOD ACTIVITY CENTER ZONE (SU-2/EG-NAC)	CORRIDOR ZONE (SU-2/EG-C)	COMMUNITY COMMERCIAL ZONE (SU-2/EG-C-2)
Townhouse		x	x	x
Apartment Buildings (Apartment House, Courtyard Apartment Building and Other Apartment Buildings)	x	x	x	x
Apartment Complex			x	x
Live/Work Building	x	x	x	x
Mixed Use Building	x	x	x	x
Commercial Building	x	x	x	x
Liner Building	x	x	x	x
Institutional or Civic Building	x	x	x	x
Industrial Building			x	x

### ***Townhouse Lot***

Townhouse lots are located side by side and designed to accommodate a building with more than one dwelling unit. Each dwelling unit is on a separate lot and has a private rear yard. Front yards may be shared across lots.

TOWNHOUSE BUILDING AND LOT STANDARDS		
LOT REQUIREMENTS	MIN	MAX
Lot Width (linear feet)	18	32 or 42 for lots with side yard abutting street right-of-way
Lot Depth (linear feet)	98	120
Lot Size (square feet)	1,760	5,040
BUILDING LOT COVERAGE	MIN	MAX
Usable Open Space (square feet)	360 per dwelling unit	No Requirement
Building Front Façade Lot Width Coverage (%)	70	Up to required minimum side yard setbacks
Front Yard Setback (linear feet)	5	15
Side Yard Setback from property line abutting street right-of-way (linear feet)	10	No requirement
Side Yard Setback from shared lot line (linear feet)	None, except 10 feet between residential buildings and 10 feet from a lot with another use. (See SU-2 General Regulation 5.6.1.A.2)	No requirement
Rear Yard Setback (linear feet)	15	No requirement
ACCESSORY BUILDING	MIN	MAX
Setback from Principal Building (linear feet)	10	No requirement
Side and Rear yard setback (See City Zoning Code 14-16-3-3(B)(2) for Accessory Structures)		
Building Footprint (square feet)	No requirement	625 Maximum building footprint for accessory buildings is the total square footage allowed for all accessory buildings on the lot.
BUILDING HEIGHT (linear feet)	MIN	MAX
Principal Building	No requirement	38
Accessory Building(s)	No requirement	Less than principal building height, but no more than 25 feet
PARKING LOCATION		
In Rear Yard, however, minimum usable open space shall be provided on the lot.		
FRONT BUILDING FAÇADE AND FRONT YARD TYPE		
Common Yard (no driveways, vehicle storage or movement between front building façade and street) or Porch and Wall (no driveways, vehicle storage or movement between front building façade and street)		
ADDITIONAL REQUIREMENTS		
1. If a lot abuts Central Avenue and another street, the front building façade and front yard shall face Central Avenue.		

## Some Townhouse Lot Examples (Maximum Lot Widths)

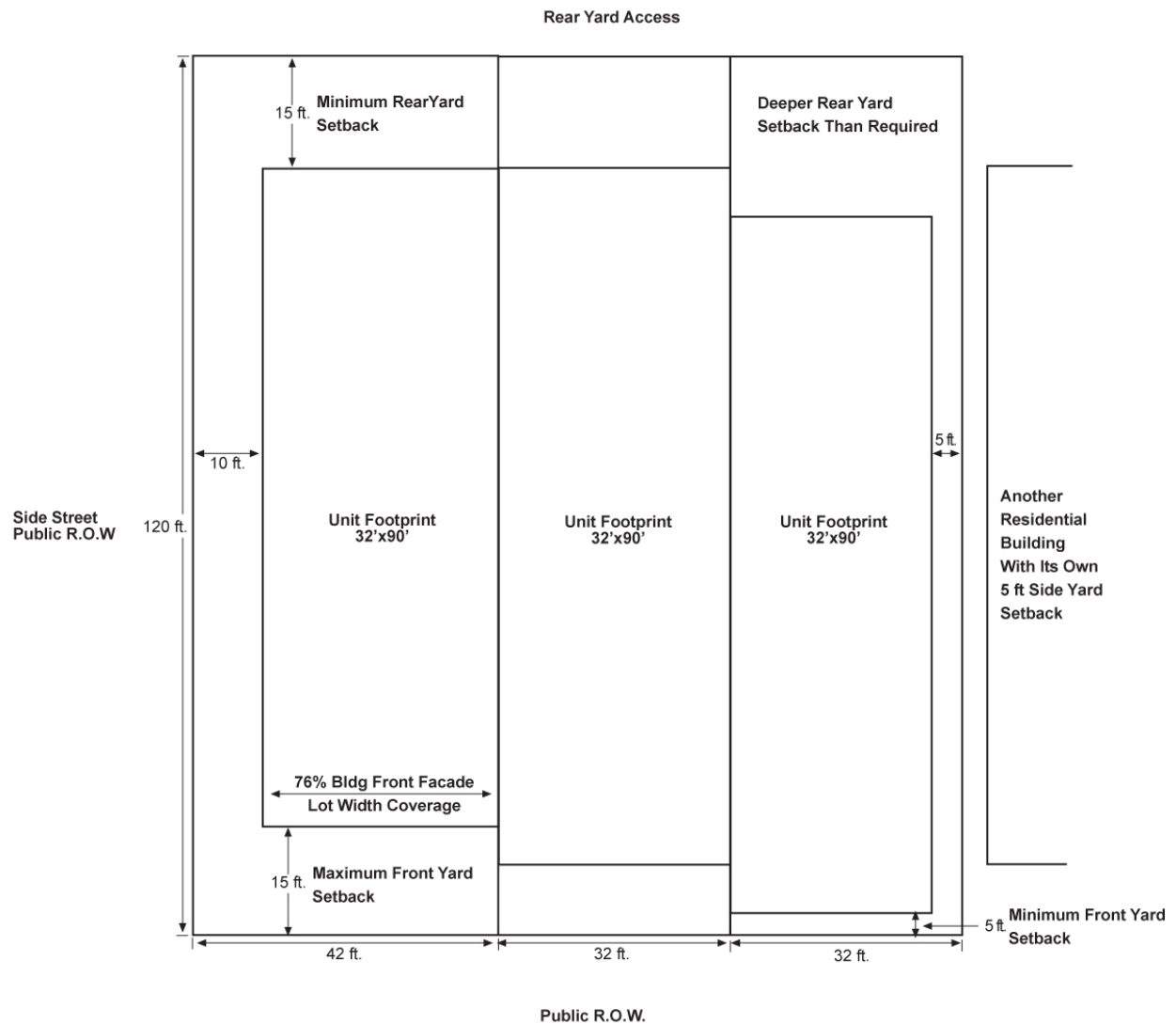


Figure 5.n: Townhouse Lot Example



### ***Apartment House, Courtyard Apartment Building and Apartment Building Lots***

An Apartment House lot is located and designed to accommodate a building that resembles a large house, but contains multiple dwelling or lodging units. A Courtyard Apartment Building lot is located and designed to accommodate multiple dwelling or lodging units above or beside each other, facing onto a shared courtyard that is partly or wholly open to the street. Each unit has direct access or shares a common access from a porch or stoop facing the courtyard or the street. An Apartment Building lot is located and designed to accommodate multiple dwelling or lodging units above or beside each other in a building that is located close to the front property line and that occupies most of its building lot width.

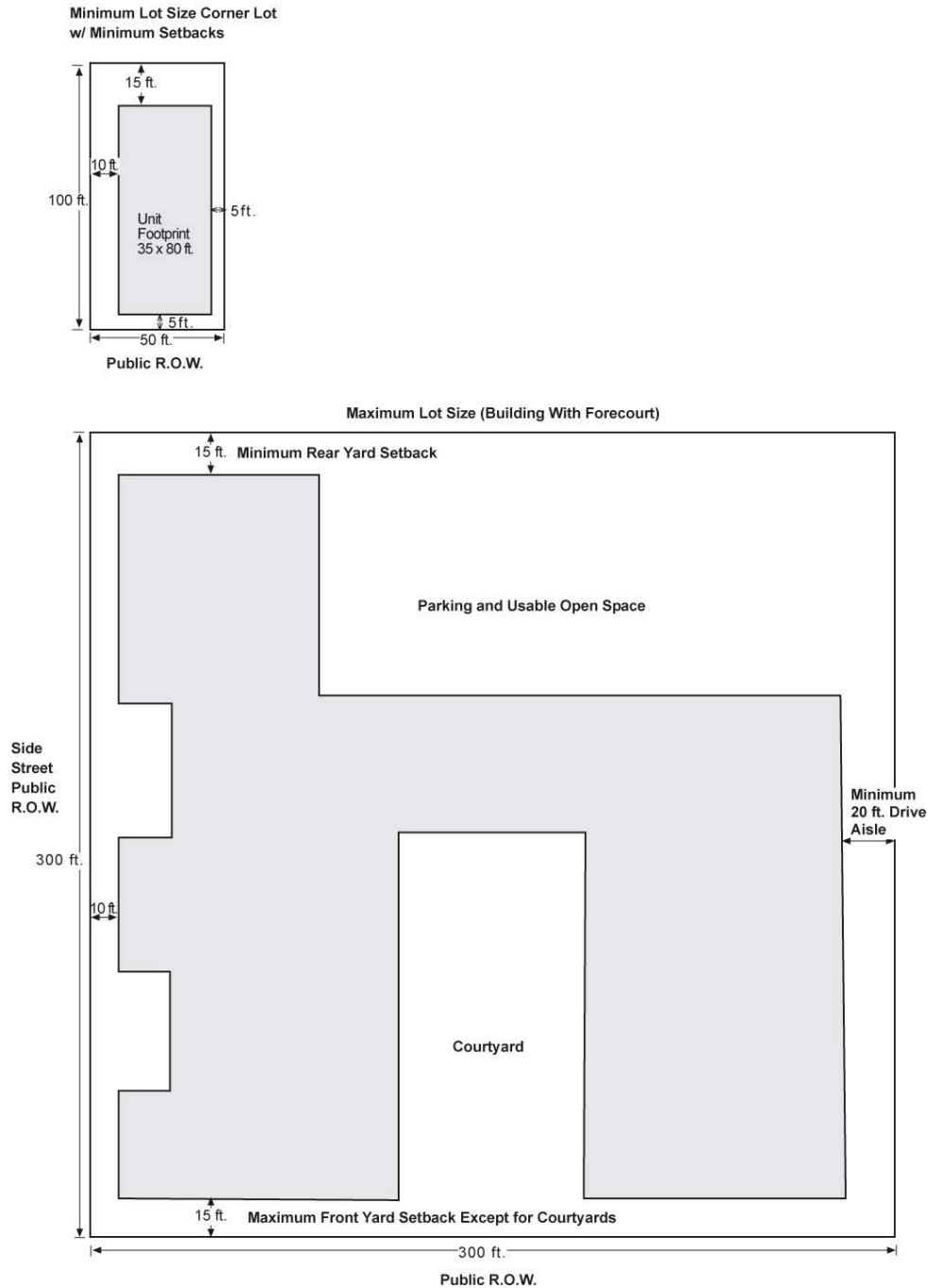
APARTMENT HOUSE, COURTYARD APARTMENT BUILDING AND APARTMENT BUILDING AND LOT STANDARDS		
LOT REQUIREMENTS	MIN	MAX
Lot Width (linear feet)	50	300
Lot Depth (linear feet)	100	300
Lot Size (square feet)	5,000	90,000
BUILDING LOT COVERAGE	MIN	MAX
Usable Open Space (square feet)	400 for each efficiency apt. or one-bedroom apt. 500 for each two-bedroom or larger apt.	No requirement
Building Front Façade Lot Width coverage (%)	70, except may be less where a minimum 20-foot wide drive aisle is the only possible access to side or rear yard to meet required off-street parking	Up to required minimum side yard setbacks
Front Yard Setback (linear feet)	5	15, except for building portions set back in a courtyard
Side Yard Setback from property line abutting street right-of-way (linear feet)	10	10
Side Yard Setback from shared lot line (linear feet)	5	10, except may be more where there is no rear yard access from a rear street, alley, or a side street and some required off-street parking or a 20-foot drive aisle to access rear yard parking must be accommodated in the side yard
Rear Yard Setback (linear feet)	15	No requirement
ACCESSORY BUILDING	MIN	MAX
Setback from Principal Building (linear feet)	10	No requirement
Side and Rear yard setback (see City Zoning Code 14-16-3-3(B)(2) for Accessory Structures)		
Building Footprint (square feet)	No requirement	625
BUILDING HEIGHT (linear feet)	MIN	MAX
Principal Building	26	50, provided parts of the building exceeding 26 feet in height are located a minimum of 85 feet from a lot zoned exclusively for residential uses
Accessory Building(s)	No requirement	Less than principal building height, but no more than 25 feet
PARKING LOCATION		
In Side Yard with shared lot line and/or in Rear Yard. Courtyards may not be used to park motorized vehicles, excepting wheelchairs.		
FRONT BUILDING FAÇADE AND FRONT YARD TYPE		
Common Yard (no driveways, vehicle storage or movement between front building façade and street) Porch and Wall (no driveways, vehicle storage or movement between front building façade and street), Forecourt or Stoop		

**APARTMENT HOUSE, COURTYARD APARTMENT BUILDING AND  
APARTMENT BUILDING AND LOT STANDARDS**

**ADDITIONAL REQUIREMENTS AND NOTES**

1. If a lot abuts Central Avenue and another street, the front building façade and front yard shall face Central Avenue.
2. If the only access to side or rear yard required off-street parking is from the street parallel to the front building façade, then a minimum 20-foot wide drive aisle shall be provided in the side yard with a shared lot line. The drive aisle width may increase the maximum side yard setback distance and may decrease the percentage of building front façade lot width coverage.

**Some Apartment Building Lot Examples**



**Figure 5.o: Apartment Lot Examples**

### ***Apartment Complex Lot***

An Apartment Complex lot is located and designed to accommodate multiple buildings with multiple dwelling or lodging units above and/or beside each other.

APARTMENT COMPLEX BUILDING AND LOT STANDARDS		
LOT REQUIREMENTS	MIN	MAX
Lot Width (linear feet)	No Requirement	500
Lot Depth (linear feet)	No Requirement	500
Lot Size (square feet)	No Requirement	250,000
BUILDING LOT COVERAGE	MIN	MAX
Usable Open Space (square feet)	400 for each efficiency apt. or one-bedroom apt. 500 for each two-bedroom or larger apt.	No requirement
Building Front Façade Lot Width Coverage (%)	50	Up to required minimum side yard setbacks
Front Yard Setback (linear feet)	5	25
Side Yard Setback from property line abutting street right-of-way (linear feet)	10	25
Side Yard Setback from shared lot line (linear feet)	5	No Requirement
Rear Yard Setback (linear feet)	15	No Requirement
BUILDING HEIGHT (linear feet)	MIN	MAX
	No requirement	50, provided parts of the building exceeding 26 feet in height are located a minimum of 85 feet from a lot zoned exclusively for residential uses
PARKING LOCATION		
In Side Yard with shared lot line and/or in Rear Yard. Courtyards may not be used to park motorized vehicles, excepting wheelchairs.		
FRONT BUILDING FAÇADE AND FRONT YARD TYPE		
Common Yard (no driveways, vehicle storage or movement between front building façade and street), Porch and Wall (no driveways, vehicle storage or movement between front building façade and street), Forecourt or Stoop.		
ADDITIONAL REQUIREMENTS		
1. If a lot abuts Central Avenue and another street, the front building façade and front yard shall face Central Avenue. 2. Front building façades shall face streets, not including alleys, and may also face interior common yards.		



### ***Live/Work Building Lot***

A Live/Work Building lot is located and designed to accommodate attached or detached units or buildings with office, retail, arts and crafts production and residential uses.

LIVE/WORK BUILDING AND LOT STANDARDS		
LOT REQUIREMENTS	MIN	MAX
Lot Width (linear feet)	16	60
Lot Depth (linear feet)	80	120
Lot Size (square feet)	1,280	7,200
BUILDING LOT COVERAGE	MIN	MAX
Usable Open Space (square feet)	80 per unit	No requirement
Building Front Façade Lot Width Coverage (%)	70, except may be less where a minimum 20-foot wide drive aisle is the only possible access to side or rear yard to meet required off-street parking	Up to required minimum side yard setbacks
Front Yard Setback (linear feet)	5	10, except for building portion set back in a courtyard or other type of forecourt
Side Yard Setback from property line abutting street right-of-way (linear feet)	10	10
Side Yard Setback from shared lot line (linear feet)	5	10, except may be more where there is no rear yard access from a rear street, alley, or a side street and some required off-street parking or a 20-foot drive aisle to access rear yard parking must be accommodated in the side yard
Rear Yard Setback (linear feet)	15	No requirement
ACCESSORY BUILDING	MIN	MAX
Setback from Principal Building	10	No requirement
Side and Rear Yard setback (see City Zoning code 14-16-3-3(B)(2) for Accessory Structures)		
Building Footprint (square feet)	No requirement	625 Maximum building footprint for accessory buildings is the total square footage allowed for all accessory buildings on the lot.
BUILDING HEIGHT (linear feet)	MIN	MAX
Principal Building	26	50, provided parts of the building exceeding 26 feet in height are located a minimum of 85 feet from a lot zoned exclusively for residential uses
Accessory Building(s)	No requirement	Less than principal building height, but no more than 25 feet
PARKING LOCATION		
In Side Yard with shared lot line and/or in Rear Yard. Courtyards may not be used to park motorized vehicles, excepting wheelchairs.		
FRONT BUILDING FAÇADE AND FRONT YARD TYPE		
Forecourt, Storefront with Awning, Arcade or Gallery Note: A City encroachment agreement is required to extend any portion of a building into the public right-of-way.		
ADDITIONAL REQUIREMENTS AND NOTES		
1. If a lot abuts Central Avenue and another street, the front building façade and front yard shall face Central Avenue 2. If the only access to side or rear yard required off-street parking is from the street parallel to the front building façade, then a minimum of 20-foot wide drive aisle shall be provided in the side yard with a shared lot line. The drive aisle width may increase the maximum side yard setback distance and may decrease the percentage of building front façade lot width coverage.		



**A Live/Work Building Lot Example  
( Corner Lot, Maximum Lot Size with Minimum Setbacks)**

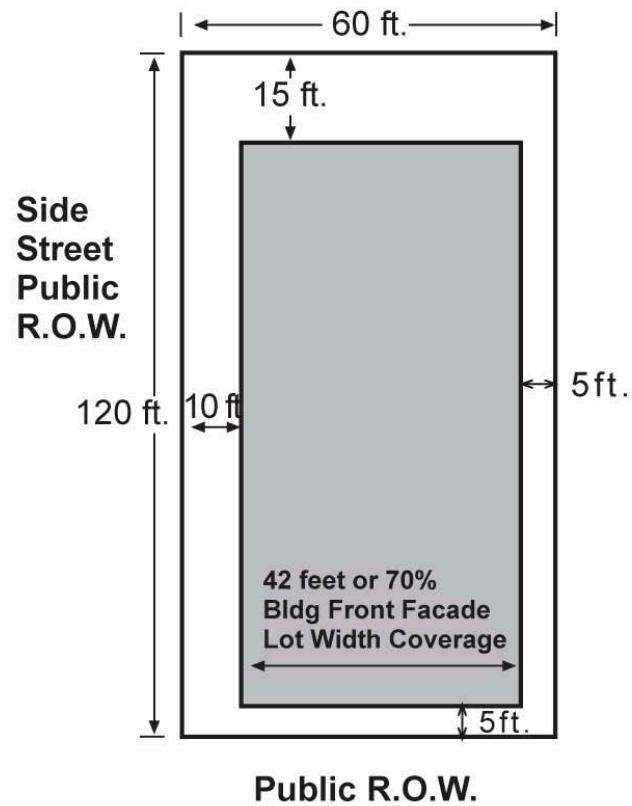


Figure 5.p: Live/Work Building Lot Example

### **Mixed-Use Building Lot**

A Mixed-Use Building lot is located and designed to accommodate a multi-story building with various commercial uses on the first story and commercial uses and/or dwelling units on upper stories.

MIXED-USE BUILDING AND LOT STANDARDS		
LOT REQUIREMENTS	MIN	MAX
Lot Width (linear feet)	16	300
Lot Depth (linear feet)	No requirement	500
Lot Size (square feet)	No requirement	150,000
BUILDING LOT COVERAGE	MIN	MAX
Building Front Façade Lot Width Coverage (%)	50	Up to required minimum side yard setbacks
Front Yard Setback (linear feet)	5	10, except portions of the building set back in a forecourt
Side Yard Setback from property line abutting street right-of-way (linear feet)	10	10, except may be more where there is no rear yard access from a rear street, alley, or a side street and some required off-street parking or a 20-foot drive aisle to access rear yard parking must be accommodated in the side yard
Side Yard Setback from shared lot line (linear feet)	5	No requirement
Rear Yard Setback (linear feet)	15	No requirement
BUILDING HEIGHT (linear feet)	MIN	MAX
	26	65, provided parts of the building exceeding 26 feet in height are located a minimum of 85 feet from a lot zoned exclusively for residential uses
PARKING LOCATION		
In Side Yard with shared lot line and/or in Rear Yard. Courtyards may not be used to park motorized vehicles, excepting wheelchairs.		
FRONT BUILDING FAÇADE AND FRONT YARD TYPE		
Forecourt, Storefront with Awning, Gallery or Arcade Note: A City encroachment agreement is required to extend any portion of a building into the public right-of-way.		
ADDITIONAL REQUIREMENTS AND NOTES		
1. If a lot abuts Central Avenue and another street, the front building façade and front yard shall face Central Avenue 2. If the only access to side or rear yard required off-street parking is from the street parallel to the front building façade, then a minimum 20-foot wide drive aisle shall be provided in the side yard with a shared lot line. The drive aisle width may increase the maximum side yard setback distance and may decrease the percentage of building front façade lot width coverage.		

Diagram illustrating a lot layout with dimensions and setbacks:

- Overall lot width: 300 ft.
- Overall lot depth: 500 ft.
- Minimum Rear Yard Set Back: 15 ft.
- Side Yard Parking: 140 ft. wide section.
- 50% Front Facade Lot Width Coverage: 150 ft. wide section.
- Forecourt: A small rectangular area at the bottom right.
- Maximum Front Yard Set Back Except for Forecourts: 10 ft.
- Street Public R.O.W. (Right of Way) is indicated on the left.
- Public R.O.W. (Right of Way) is indicated at the bottom.

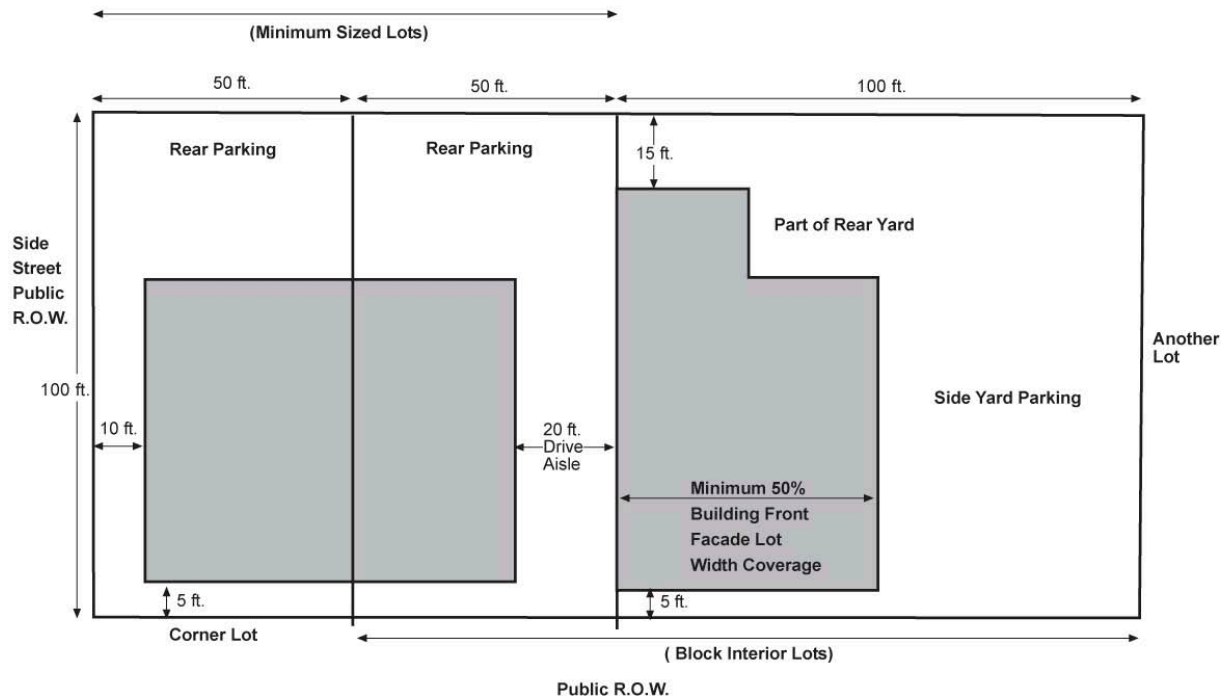
***East Gateway Sector Development Plan***  
***City of Albuquerque - October 2010***

### ***Commercial Building and Lot***

A Commercial Building lot is located in a non-residential complex and is designed to accommodate office or retail uses.

COMMERCIAL BUILDING AND LOT STANDARDS		
LOT REQUIREMENTS	MIN	MAX
Lot Width (linear feet)	50	300
Lot Depth (linear feet)	100	300
Lot Size (square feet)	5,000	90,000
BUILDING LOT COVERAGE	MIN	MAX
Building Front Façade Lot Width Coverage (%)	50	Up to required minimum required side yard setbacks
Front Yard Setback (linear feet)	0	10
Side Yard Setback from property line abutting street right-of-way (linear feet)	0	10
Side Yard Setback from shared property line	0 from a shared property line with a nonresidential use. 5 from a shared property line with a residential use.	No requirement
Rear Yard Setback (linear feet)	15	No requirement
BUILDING HEIGHT (linear feet)	MIN	MAX
	No requirement	65, provided parts of the building exceeding 26 feet in height are located a minimum of 85 feet from a lot zoned exclusively for residential uses
PARKING LOCATION		
In Side Yard with shared lot line and/or in Rear Yard.		
FRONT BUILDING FAÇADE AND FRONT YARD TYPE		
Storefront with Awning, Gallery or Arcade		
Note: A City encroachment agreement is required to extend any portion of a building into the public right-of-way.		
ADDITIONAL REQUIREMENTS AND NOTES		
1. If a lot abuts Central Avenue and another street, the front building façade and front yard shall face Central Avenue 2. If the only access to side or rear yard required off-street parking is from the street parallel to the front building façade, then a minimum 20-foot wide drive aisle shall be provided in the side yard with a shared lot line. The drive aisle width may increase the maximum side yard setback distance and may decrease the percentage of building front façade lot width coverage.		

## Some Commercial Building Lot Examples



Note: Assumes No Rear Yard Access from Alley or Rear Facing Street

Figure 5.r: Commercial Building Lot Examples



### ***Liner Building Lot***

A Liner Building lot is located and designed to accommodate a large footprint building such as a parking garage, cinema, supermarket, or other use requiring a large building and a liner building that surrounds the larger building to conceal its blank walls and provide windows and doors that face the street.

LINER BUILDING AND LOT STANDARDS		
LOT REQUIREMENTS	MIN	MAX
Lot Width (linear feet)	No requirement	500
Lot Depth (linear feet)	No requirement	500
Lot Size (square feet)	No requirement	250,000
BUILDING LOT COVERAGE	MIN	MAX
Building Front Façade Lot Width coverage (%)	90, except may be less where a minimum 20-foot wide drive aisle is the only possible access to side or rear yard parking	No requirement
Front Yard Setback (linear feet)	0	5
Side Yard Setback from property line abutting street right-of-way (linear feet)	0	No requirement
Side Yard Setback from shared lot line (linear feet)	0	No requirement
Rear Yard Setback (linear feet)	10	No requirement
LINER BUILDING HEIGHT (linear feet)	MIN	MAX
	No requirement	65, provided parts of the building exceeding 26 feet in height are located a minimum of 85 feet from a lot zoned exclusively for residential uses
PARKING LOCATION		
In Side Yard with shared lot line, in Rear Yard, or attached parking structure		
FRONT BUILDING FAÇADE AND FRONT YARD TYPE		
Storefront with Awning, Gallery or Arcade		
Note: A City encroachment agreement is required to extend any portion of a building into the public right-of-way.		
ADDITIONAL REQUIREMENTS AND NOTES		
1. If a lot abuts Central Avenue and another street, the front building façade and front yard shall face Central Avenue		
2. If the only access to side or rear yard parking is from the street parallel to the front building façade, then a minimum 20-foot wide drive aisle shall be provided in the side yard with a shared lot line. The drive aisle width may decrease the percentage of building front façade lot width coverage.		

## Liner Building Lot Example

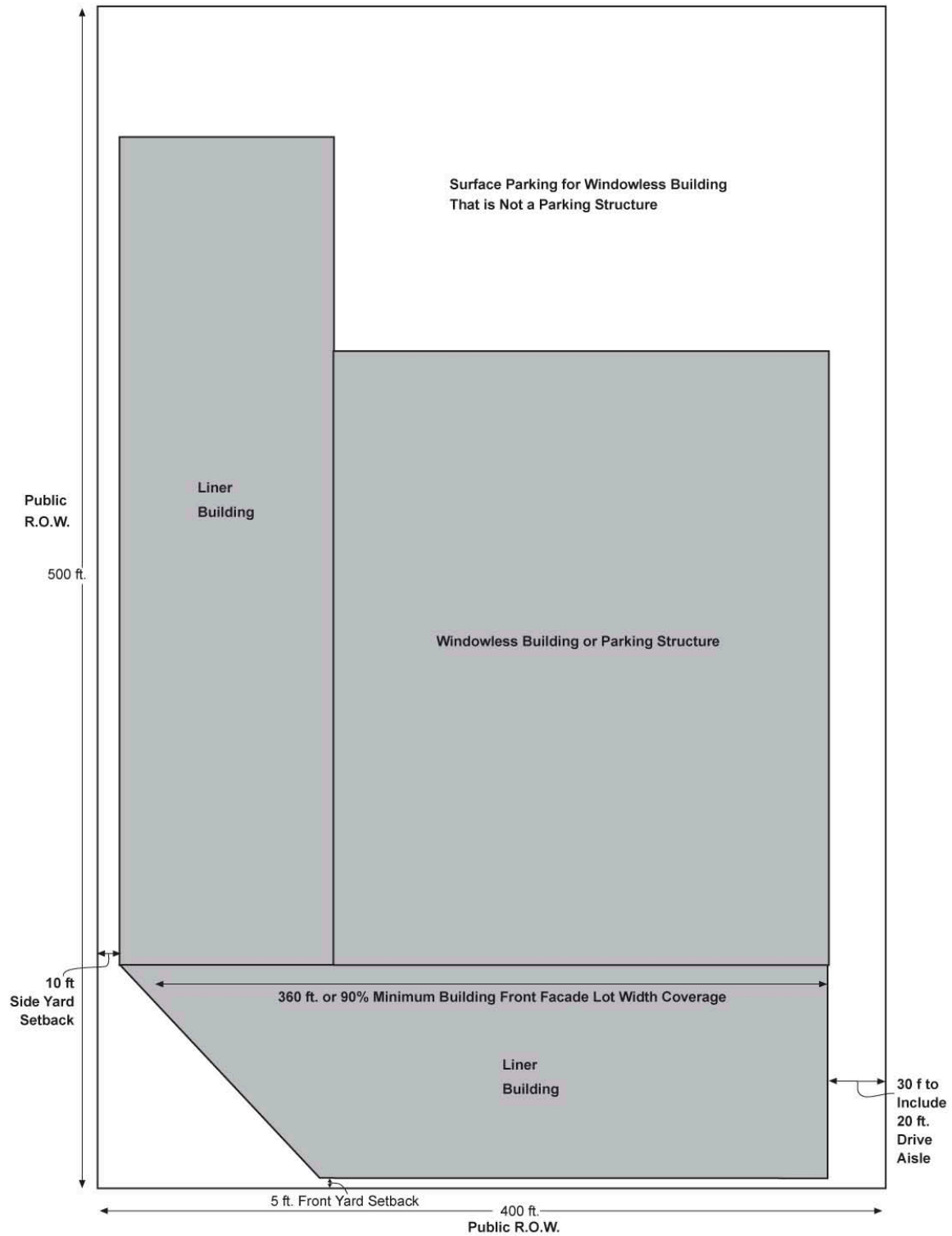


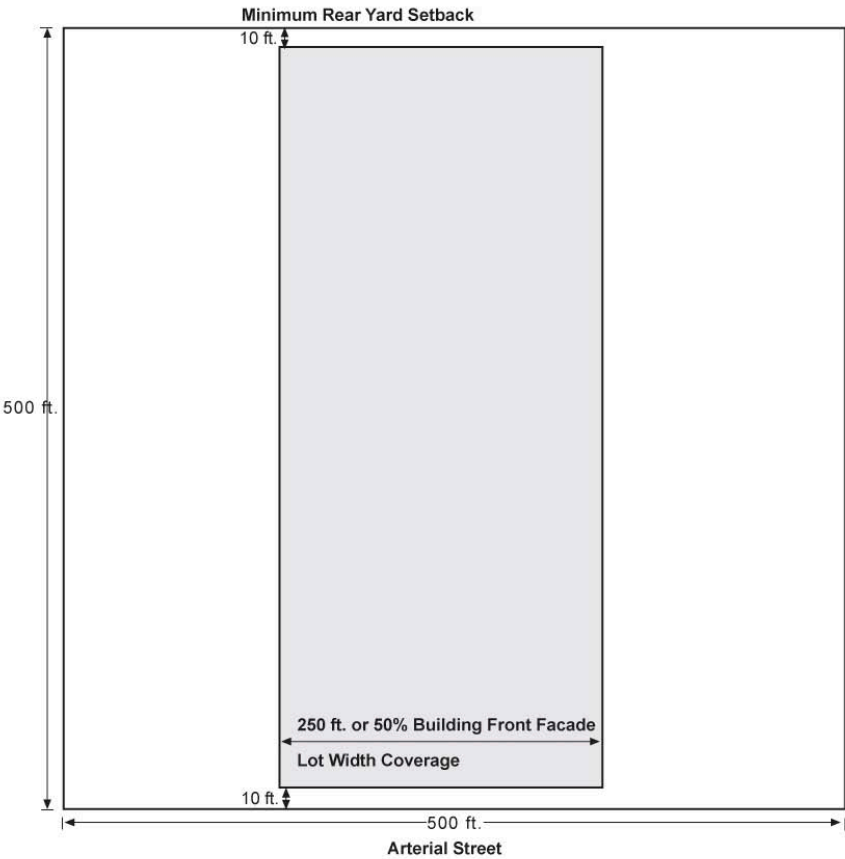
Figure 5.s: Liner Building Lot Example

***Institutional or Civic Building Lot***

An Institutional or Civic Building lot is located and designed to accommodate a building or buildings containing public uses or quasi-public uses such as day care, education, government services, community services, social services or a religious institution.

INSTITUTIONAL or CIVIC BUILDING AND LOT STANDARDS		
LOT REQUIREMENTS	MIN	MAX
Lot Width (linear feet)	No requirements, except that a lot shall not exceed the maximum block size allowed in Section 5.6.1.F.1 of this Plan.	
Lot Depth (linear feet)		
Lot Size (square feet)		
BUILDING LOT COVERAGE	MIN	MAX
Building Front Façade Lot Width Coverage (%)	50	No requirement
Front Yard Setback (linear feet)	No requirement	No requirement, except 10 feet for lots abutting arterial streets
Side Yard Setback (Street and shared lot line) (linear feet)	No requirement	No requirement
Rear Yard Setback (linear feet)	10	No requirement
BUILDING HEIGHT (linear feet)	MIN	MAX
	No requirement	65, provided parts of the building exceeding 26 feet in height are located a minimum of 85 feet from a lot zoned exclusively for residential uses
PARKING LOCATION		
Side Yard or Rear Yard for lots abutting arterial streets.		
FRONT BUILDING FAÇADE AND FRONT YARD TYPE		
No requirement, however front entrance and windows shall be located on building façade facing the front property line		
ADDITIONAL REQUIREMENTS AND NOTES		
1. If a lot abuts Central Avenue and another street, the front building façade and front yard shall face Central Avenue 2. If the only access to side or rear yard parking is from the street parallel to the front building façade, then a minimum 20-foot wide drive aisle shall be provided in the side yard.		

**Institutional Building Lot Example**



**Figure 5.t: Institutional Building Lot Example**

### ***Industrial Building Lot***

An Industrial Building lot is located and designed to accommodate a building intended for storage or manufacturing.

INDUSTRIAL BUILDING AND LOT STANDARDS		
LOT REQUIREMENTS	MIN	MAX
Lot Width (linear feet)	No requirement	500
Lot Depth (linear feet)	No requirement	500
Lot Size (square feet)	No requirement	250,000
BUILDING LOT COVERAGE	MIN	MAX
Building Front Façade Lot Width Coverage (%)	No requirement, except 50% for lots abutting arterial streets	No requirement
Front Yard Setback (linear feet)	10	No requirement
Side Yard Setback from property line abutting street right-of-way (linear feet)	10	No requirement
Side Yard Setback from shared lot line (linear feet)	10	No requirement
Rear Yard Setback (linear feet)	25	No requirement
BUILDING HEIGHT (linear feet)	MIN	MAX
	No requirement	38
PARKING LOCATION		
In Side Yard with shared lot line and/or in Rear Yard		
FRONT BUILDING FAÇADE AND FRONT YARD TYPE		
Forecourt, Storefront and Awning, Gallery or Arcade Note: A City encroachment agreement is required to extend any portion of a building into the public right-of-way.		
ADDITIONAL REQUIREMENTS AND NOTES		
1. If a lot abuts Central Avenue and another street, the front building façade and front yard shall face Central Avenue		



## Industrial Building Lot Example

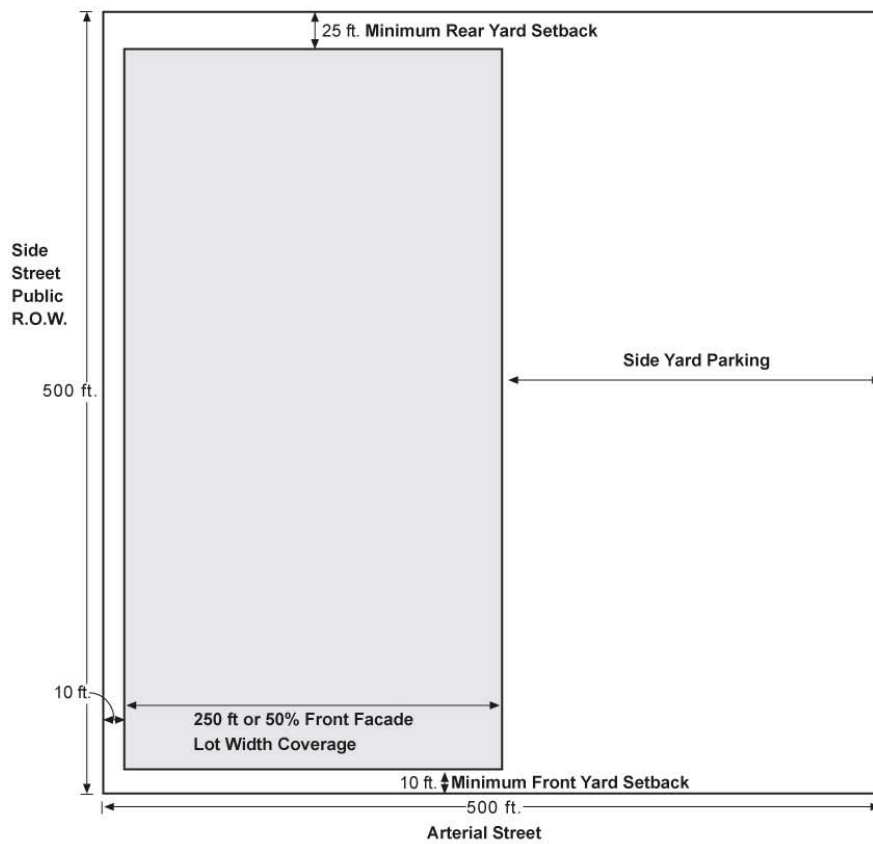


Figure 5.u: Industrial Building Lot Example

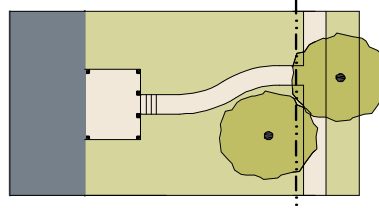
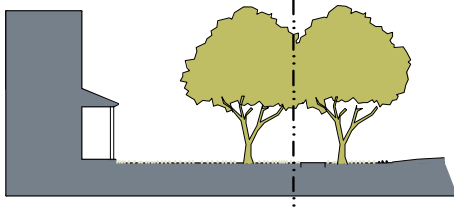
**PRIVATE LOT FRONTAGE PUBLIC R.O.W. PRIVATE LOT FRONTAGE PUBLIC R.O.W.**  
**BUILDING FRONT FAÇADES SHALL FACE THE PUBLIC RIGHT-OF-WAY**  
 The following illustrations are not regulatory. They are provided as examples.

**PRIVATE LOT FRONTAGE**

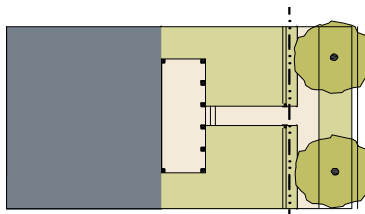
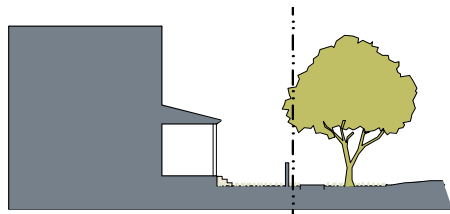
**PUBLIC R.O.W.**

**PRIVATE LOT FRONTAGE**

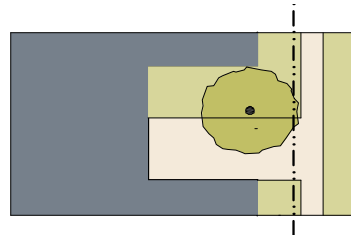
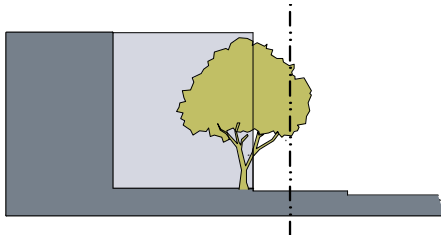
**PUBLIC R.O.W.**



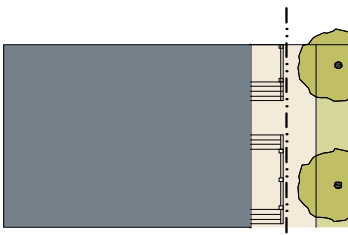
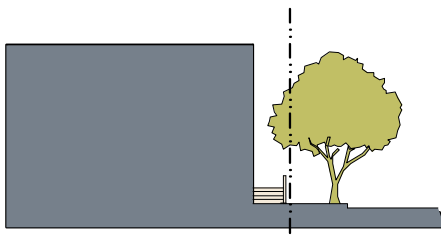
1. **COMMON YARD:** APPROPRIATE FOR TOWNHOUSE, APARTMENT HOUSE, APARTMENT BUILDING AND APARTMENT COMPLEX – Consists of 1) An unfenced landscaped front yard shared by more than one dwelling unit and visually continuous from unit to unit, 2) Maximum building setback distance to allow a buffer from traffic on arterial or collector streets.



2. **PORCH & SHORT WALL OR FENCE:** APPROPRIATE FOR TOWNHOUSE, APARTMENT HOUSE, AND APARTMENT BUILDING – Consists of 1) An 18" to 36"-high wall or fence at the property line abutting the public right-of-way, 2) Landscaped front yard, 3) Building façade with an attached front porch no less than 8 feet deep.



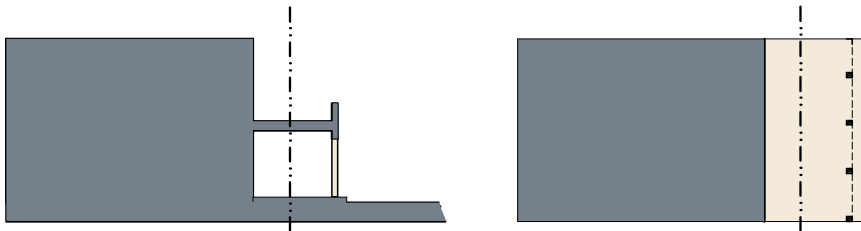
3. **FORECOURT:** APPROPRIATE FOR COURTYARD APARTMENT BUILDING, APARTMENT BUILDING, AND APARTMENT COMPLEX – Consists of 1) A portion of the building façade close to the property line abutting the public right-of-way, 2) Remainder of front building façade set back resulting in a forecourt suitable for vehicular drop-offs or a landscaped courtyard, 3) Large trees within the forecourt that may overhang the public sidewalk (*Ordinance 6-6-2-5(F) City of Albuquerque Street Tree Ordinance requires 7 feet of clearance over a sidewalk and 14 feet of clearance over a street*).



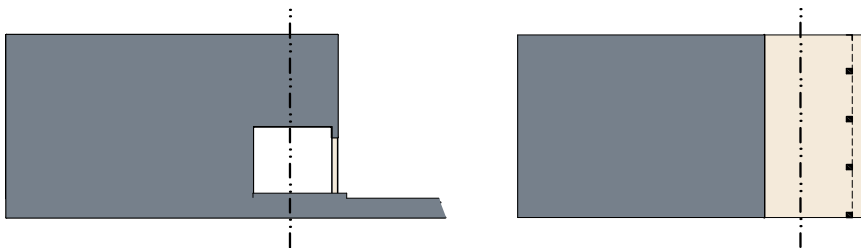
4. **STOOP:** APPROPRIATE FOR COURTYARD APARTMENT BUILDING, APARTMENT BUILDING, AND APARTMENT COMPLEX – Consists of 1) Building façade close to the property line abutting the public right-of-way, 2) Building entrance accessed by exterior stair and/or ramp and landing.



5. **STOREFRONT WITH AWNING:** APPROPRIATE FOR LIVE/WORK, MIXED-USE, COMMERCIAL, AND LINER BUILDINGS – Consists of 1) Building façade close to the property line abutting the public right-of-way, 2) Building entrance adjacent to public sidewalk, 3) Substantial glazing on first story as provided in Section 5.6.14 of this Plan, 4) Awnings overhanging the sidewalk by at least 5 feet. A City encroachment agreement is required to extend any portion of a building into the public right-of-way.



6. **GALLERY:** APPROPRIATE FOR LIVE/WORK, MIXED-USE, COMMERCIAL, AND LINER BUILDINGS – Consists of a building façade with an attached minimum 10-foot deep cantilevered shed or lightweight colonnade. This portion of the building may or may not extend into the public right-of-way to cover a public sidewalk, but may not extend into the required landscaped sidewalk setback area in the public right-of-way. First story contains many windows. A City encroachment agreement is required to extend any portion of a building into the public right-of-way.



7. **ARCADE:** APPROPRIATE FOR LIVE/WORK AND MIXED USE BUILDINGS WITH COMMERCIAL USES ON THE FIRST FLOOR – Consists of a building façade with an attached minimum 12-foot deep colonnade supporting habitable space. This portion of the building may or may not extend into the public right-of-way to cover a public sidewalk, but may not extend into the required landscaped sidewalk setback area in the public right-of-way. First story contains many windows. A City encroachment agreement is required to extend any portion of a building into the public right-of-way.

## 5.6 General Design Regulations

General Design Regulations for site design, building design, and public right-of-way design are applicable to properties within the General Design Regulations Boundary established on East Gateway Zoning Maps on pages 5-2 through 5-6. Some regulations apply only to properties abutting Central Avenue, some apply only to properties designated as activity centers or abutting major streets, and the rest apply to all properties within the East Gateway General Design Regulations boundary. East Gateway properties outside the General Design Regulations boundary are required to follow regulations in the City of Albuquerque Comprehensive City Zoning Code. The illustrations in the remainder of this chapter are examples and should not be considered regulatory.

### Site Design

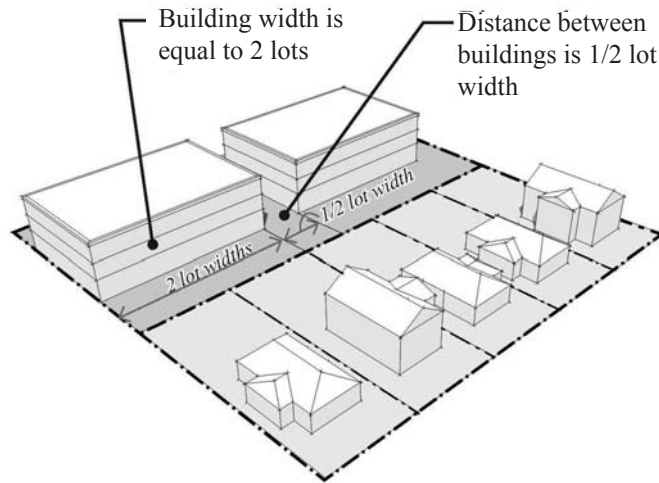
#### 5.6.1 Site Layout (Streets, Blocks, and Lots)

The following requirements are intended to ensure a safe, efficient and connected community.

- A. For all East Gateway Properties abutting Central Avenue:
  - 1. New Central Avenue curb cuts shall be approved only for new intersecting streets necessary to create shorter blocks or to replace existing driveways. Subject to approval by the City Engineer or his designee, new driveways can be built in a different location on a property, but shall not cause the number of driveways to that property to increase. Replaced driveways shall be closed and rebuilt with sidewalk, landscaping area, and stand-up curb.
- B. For all East Gateway Properties abutting Arterial Streets or within the SU-2/EG CAC, NAC, or C Zones:
  - 1. Building façades shall occupy at least 50% of the street frontage. If a greater percentage of building façade coverage is required by building type, that requirement prevails.
  - 2. For new development with a minimum 300 feet of street frontage on blocks longer than 500 feet, intersecting Pedestrian Access Routes (as described in the *Development Process Manual*) shall be built to allow pedestrian and bicycle access a maximum linear distance of every 500 feet. Alleys and Pedestrian Access Routes are not considered block termini.
- C. For all Properties within the East Gateway General Design Regulations boundary:
  - 1. Rear yards shall not face a public or private street except an alley, trail, park, green or square.
  - 2. Lots abutting or across a public or private right-of-way or alley from lots zoned for or developed with single-family detached housing shall be required to meet the following provisions:
    - a. New buildings that are not single-family detached houses, townhouses, or duplexes shall be permitted across a public or private

right-of-way from single-family detached house side yards or where their rear yard abuts a single-family detached house rear lot line, alley or service drive.

- b. New buildings that are not single-family detached houses, townhouses or duplexes shall be a maximum of 100 feet wide.
- c. The space separating each new building that is not a single-family detached house, townhouse or duplex shall be a minimum of 25 feet.

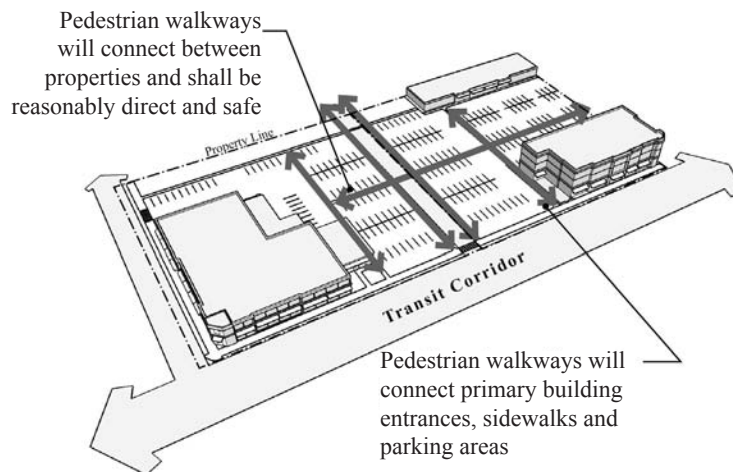


**Figure 5.v: Site Layout**

- 3. Parcels 5 acres and larger shall be designed to provide a block structure that enables efficient pedestrian travel and is defined by an internal network of streets that connect to the existing street network:
  - a. The entire site shall be planned and platted into maximum 125,000 square foot blocks. Maximum block length is 500 feet. Pedestrian connections shall be provided through the width of the block every 250 feet.
  - b. Primary and secondary driveways (as defined in the City Zoning Code) or platted streets that separate the blocks shall be between 60 feet and 85 feet wide and shall include the following:
    - a. Two 10-foot wide travel lanes;
    - i. Two minimum 6-foot wide landscaped buffers with shade trees spaced approximately 30 feet on center;
    - ii. Two minimum 7-foot wide pedestrian walkways constructed of material other than asphalt that meets ADA accessibility guidelines;
    - iii. Pedestrian-scale lighting that is between 12 to 15 feet high and a maximum distance of 100 feet apart; and
    - iv. Standup curb.
- 4. Pedestrian Site Circulation and Design
  - a. All sites shall be designed with well-lit 6-foot minimum pedestrian

pathways physically separated from driveways and parking spaces by landscaping, berms, barriers, grade separations or other means to protect pedestrians from vehicular traffic.

- b. Pedestrian Access Routes (direct pedestrian and bicycle pathways) shall be designed as required in the *Development Process Manual* and provided between buildings and adjacent parcels, and to existing public bicycle trails, lanes, and routes and pedestrian trails and sidewalks. Pedestrian connections shall occur at a minimum distance of 500 feet.
- c. Flat, ADA-accessible crosswalks shall be required across all driveways, drive aisles or other vehicular areas.



**Figure 5.w: Site Layout, Pedestrian Circulation**

### 5.6.2 Parking

- A. For all East Gateway Properties abutting Arterial Streets or within the SU-2/EG CAC, NAC, C and C-2 Zones:

The General Parking Regulations of the City's Zoning Code, Section 14-16-3-1 shall apply, with the following exceptions:

- 1. Parking shall be distributed on the site to minimize visual impact from the adjoining street.
- 2. The maximum parking permitted shall be the minimum parking allowed in the Zoning Code per use, plus 10%.
- 3. Shared parking shall be strongly encouraged.
- 4. Parking shall be screened from the street, excepting an alley, by buildings or a combination of 18 to 36-inch high wall and a minimum 6-foot wide landscape strip.



5. A 5-foot wide, clear paved path shall be maintained between building and parking areas for pedestrian access.

### **5.6.3 Parking Structure**

- A. For all East Gateway Properties abutting Arterial Streets or within the SU-2/EG CAC, NAC, C and C-2 Zones:
  1. Direct pedestrian access shall be provided from parking structures to each adjacent street.
  2. Liner buildings shall surround the street sides of parking structures unless the structure is separated from the street by another building, or a minimum 30-foot deep landscaped area.
  3. Parking structures shall comply with all building design standards for building façade, mass, scale, building features and lighting as described in the Building Design Section of these SU-2 General Regulations.

### **5.6.4 Landscaping**

- A. For all Properties within the East Gateway General Design Regulations boundary:

The General Landscaping Regulations of the City's Zoning Code, Section 14-16-3-10 shall apply with the following exception:

  1. Water Harvesting Areas: Surface runoff including runoff from roofs shall be directed into depressed, water collection areas located in landscape areas.

### **5.6.5 Outdoor Space**

- A. For East Gateway Properties abutting Central Avenue (the following outdoor space regulations for properties abutting Central Avenue are in addition to the General Landscaping Regulations of the City's Zoning Code, Section 14-16-3-10):
  1. The following general requirements shall apply to all sites abutting Central Avenue:
    - a. All sites abutting Central Avenue shall provide a minimum 5% of the net site as outdoor space.
    - b. The Landscaping Zone and the Walking Zone in the Pedestrian Realm, as described in the Street Design Section of these SU-2 General Regulations are not eligible to be considered for meeting the outdoor space requirement.
    - c. All outdoor space shall connect to pedestrian walkways/sidewalks.

- d. A minimum of 35% of the outdoor space shall be shaded from the summer sun with trees and/or permanent or temporary shade structures.
  - e. A minimum of one seat shall be provided for every 200 gross square feet of outdoor space provided.
  - f. The use of gravel or crusher fines as ground cover is limited to a maximum of 5% of any outdoor space. Crusher fine walkways are not considered a landscaping ground cover.
  - g. If a site contains multiple buildings and/or multiple lots, the required outdoor space may be combined into larger usable outdoor space.
  - h. The property owner shall maintain outdoor space.
2. For sites 5 acres and larger, any of the following shall be considered outdoor space:
- a. A Green is a public space consisting of pathways and landscaping bounded on at least two sides by streets. The space is available for unstructured recreation. Building fronts face at least three sides of a green.
  - b. A Square is a public space consisting of paved walkways, vegetation, trees and ornamental structures such as fountains or gazebos. A square is generally located at the intersection of streets, is bounded on at least two sides by streets and has building fronts facing at least two of its sides.
  - c. Courtyards have at least two of the following elements: landscape, hardscape, water feature, and/or seating. Outdoor seating consists of chairs and benches and may include tables and covered umbrella seating.
  - d. A Community garden consists of garden plots available to residents for small-scale cultivation.

#### **5.6.6 Fences and Walls**

Walls clearly visible from the public right-of-way that define a site perimeter or that define outdoor spaces within the site shall meet the requirements in §14-16-3-19 of the City's Zoning Code with the following exceptions:

- A. For all East Gateway Properties abutting Central Avenue:
  - 1. Knee walls (walls 18 to 36 inches high) and a minimum of 6-foot wide landscaping strip shall be located at the street-facing property line to define the property edge and provide a screen only where parking or service areas

area located. They are not required to define private outdoor space.

- a. Knee wall height shall be 18 inches minimum and 36 inches maximum.
  - b. Gates for pedestrians and vehicles are permitted to interrupt the wall.
- B. For all East Gateway Properties abutting Arterial Streets or within the SU-2/EG CAC, NAC, C and C-2 Zones:
1. Freestanding walls and fences within 20 feet of the property line adjacent to a public right-of-way, excepting walls required to screen outdoor storage, shall not exceed 3 feet in height above grade.
  2. All wall sides facing the public right-of-way shall be finished. The following finish materials are permitted for site perimeter and space-defining walls and fences: Native or regional stone or an equivalent imitation stone, metal (wrought iron, welded steel or aluminum), brick, stucco, or a combination of any two of the above materials. Chain link fencing, barbed wire and razor wire are not permitted.
  3. The following wall and fence materials are prohibited: chain link fencing, barbed wire, and razor wire.

#### **5.6.7 Service, Loading and Outdoor Storage Screening**

- A. For all East Gateway Properties abutting Arterial Streets or within the SU-2/EG CAC, NAC, C and C-2 Zones:
1. Service, loading and storage areas shall not be visible from any public right-of-way or adjacent residential area.
  2. Service, loading, and outdoor storage areas shall be incorporated into the overall design of the principal building on site using screening walls of compatible material, style, color, texture, pattern, trim and details.
  3. Ground-mounted mechanical and electrical equipment shall not be located adjacent to a building's front façade and shall be placed out of view from public or private rights-of-way and residential uses. In addition, the ground-mounted equipment shall be screened from view by fencing, walls, or vegetation in coordination with public and private utility agencies.
  4. Mechanical equipment located on a roof, excepting solar panels, shall be screened from view.
  5. Service and loading lanes shall be designed as part of site circulation and shall not use dedicated lanes that add impervious surface.
  6. The Recycling Bin Regulations of the City's Zoning Code, Section 14-16-3-15 shall apply.

### **5.6.8 Lighting**

- A. For all Properties within the East Gateway General Design Regulations Boundary:
  - 1. Lighting shall comply with Section 14-16-3-9 of the City's Zoning Code with the following exceptions:
    - a. All on-site lighting shall be fully shielded to prevent fugitive light from encroaching onto adjacent properties.
    - b. Building-mounted lighting shall be mounted between 7 feet and 15 feet above grade or no higher than 7 feet above the floor of a stoop or porch.
    - c. All lots abutting alleys shall provide exterior lighting fixtures within 5 feet of the alley right-of-way to illuminate the alley. Maximum fixture height above alley grade shall be 15 feet and shall not cause glare onto adjacent properties. Where possible, lighting shall be attached to a building.
    - d. Lighting for parking structures shall evenly light the interior space to prevent hiding places.
    - e. No flashing, traveling, animated or intermittent lighting shall be used.

### **5.6.9 Signage**

- A. For all Properties within the East Gateway General Design Regulations Boundary:
  - 1. Signage shall comply with Sign Regulations in the SU-2/EG zones of this Plan and Section 14-16-3-5 of the City's Zoning Code with the following exceptions:
    - a. Off-premise signs are not permitted.
    - b. Signage may be placed on awnings, canopies and shade structures attached to the building.
    - c. Signage that is on a mixed use development property or abuts or is across the street or alley from property that is zoned for or developed with residential uses shall not be illuminated.

### **5.6.10 Utilities**

- A. For all Properties within the East Gateway General Design Regulations Boundary:
  - 1. All screening and vegetation surrounding ground-mounted transformers and utility pads shall allow 10 feet of clearance in front of the equipment door and 5 to 6 feet of clearance on the remaining three sides for access and to ensure work crew and public safety during maintenance and repair, or as specified in the Facility Plan: Electric Service Transmissions and Subtransmissions Facilities.

## **BUILDING DESIGN**

### **5.6.11 Building Materials**

- A. For all East Gateway Properties abutting Arterial Streets or within the SU-2/EG CAC, NAC, C and C-2 Zones:
  - 1. A minimum of 75% of the building façade shall be made of primary building materials.
  - 2. The following materials are prohibited as primary building materials: 1) Standard unfinished or painted CMU block, 2) Corrugated sheet metal, and 3) Wooden sheet material. Standard unfinished or painted CMU block and corrugated sheet metal may be used as secondary materials or trim.

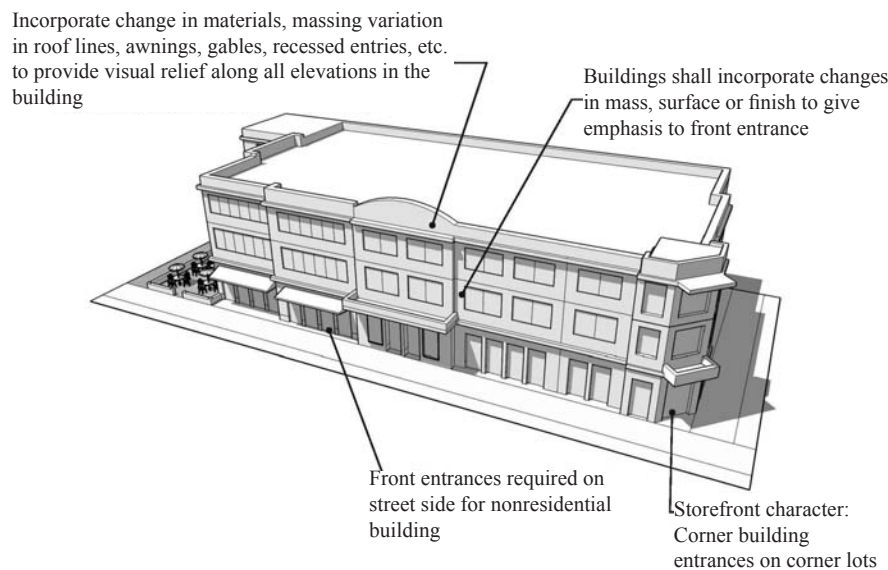
### **5.6.12 Building Height**

- A. For all Properties within the East Gateway General Design Regulations Boundary:
  - 1. The Supplementary Height, Area and Use Regulations of the City Zoning Code, Section 14-16-3-3, shall apply.
  - 2. Structures shall not exceed 26 feet in height within 85 feet of a lot zoned specifically for houses as indicated in City Zoning Code Section 14-16-2-15, the O-1 Zone.

### **5.6.13 Building Articulation**

- A. For all East Gateway Properties abutting Arterial Streets or within the SU-2/EG CAC, NAC, C and C-2 Zones:
  - 1. Building façades facing streets (not including alleys) or a private outdoor space as described in Section 5.6.5 of the Plan shall change the height, setback or material a minimum of every 50 feet.

2. All buildings shall use at least two of the following design features to provide visual relief on building façades:
  - a. Divisions or breaks in materials or textures.
  - b. Window bays and/or dormers
  - c. Entrances with entry treatments distinct from the building façade – recessed or protruding
  - d. Variation in roof-lines
  - e. Awnings, canopies, overhangs or covered porch entries
  - f. Multiple entrances for buildings with multiple first floor tenants
3. Art murals shall not require coordination with the City Arts Program.
4. Encroachments into the public right-of-way such as awnings, galleries and arcades shall comply with the City's review and approval process for Encroachment Agreements.



**Figure 5.x: Building Articulation**

#### **5.6.14 Building Orientation/Entrances**

- A. For all East Gateway Properties abutting Arterial Streets or within the SU-2/EG CAC, NAC, C and C-2 Zones:
  1. A primary accessible entrance for every building excepting courtyard buildings where primary entrances may face a central courtyard, shall directly face a street, excepting an alley.
  2. Street-facing entrances shall be clearly defined with façade variations, porticos, roof variations, recesses or projections, or other integral building forms.
  3. Buildings on Corner Lots shall address the street corner in one of the following ways:



- a. Locate the main entrance at the street corner; or
  - b. Curve, angle, step back or project the corner of the building at the street corner
- 4. Drive-up windows, ordering panels and gas pumps shall be located only at the rear of a building. When rear location is impossible due to site constraints, side location is permissible provided the following requirements are met:
  - a. Drive-in facilities (pick up windows, ordering panels), other than gas pumps, shall be screened from abutting lots and the public right-of-way, excepting alleys, by a masonry wall and landscaping. The wall shall be a maximum of 3 feet high on all sides where access is not needed.
  - b. No portion of queuing lanes, access lanes or driveways shall be located within 40 feet of the street-facing façades of a building or between the building and the street, excepting an alley.
  - c. For corner lots, the drive-in facility shall be located on the side of the building furthest from the corner.
  - d. Gas station pumps shall be located at the side or rear of the primary building and shall not be visible from the public right-of-way.

#### **5.6.15 Windows and Doors**

- A. For all East Gateway Properties abutting Arterial Streets or within the SU-2/EG CAC, NAC, C and C-2 Zones:
  - 1. Windows and doors shall provide interest on the street and safety for pedestrians using the following standards:
    - a. For all building types except residential, industrial, and institutional/civic, a minimum of 40% of the area of the ground story between the sidewalk elevation and 9 feet in height above it shall be windows that are clear and allow light transmission between exterior and interior.
    - b. For all building types except industrial and institutional/civic, a minimum of 30% of the area of each floor above the ground story shall be windows.
    - c. Maximum windowsill height for non-residential buildings shall be 36 inches above sidewalk elevation.
    - d. Windows over 10 square feet shall be divided into multiple panes to enhance the building façade.

- e. Industrial buildings with less than 25% of the ground story between sidewalk elevation and 9 feet in height above it covered by clear, light-transmitting windows, shall line the street sides of the building with liner buildings or shall screen the blank portions of these building sides with landscaping. Streets do not include alleys.
- 2. Commercial, Mixed Use and Liner Buildings shall express a storefront character using the following elements:
    - a. Regularly spaced and similar-shaped windows with trim on all building stories
    - b. Display windows on the ground floor of all building façades facing parks, plazas, and streets, excepting alleys covering a minimum of 50% and a maximum 80% of the surface area. The bottom edge of display windows on the ground floor façades shall be no more than 36 inches above sidewalk elevation. Mirrored glass, obscured glass and glass block shall not count toward the minimum display window required.

## Public Right-of-Way Design

### 5.6.16 Central Avenue Street Design

- A. New development and redevelopment triggering other East Gateway Sector Development Plan land regulation compliance also trigger compliance with regulations listed for the Pedestrian Realm of Central Avenue.
- B. Pedestrian Realm
  - 1. The public pedestrian realm shall include the public utility easement, edge zone, landscaping zone and walking zone. Where right-of-way is constrained, the edge and landscape zones may be combined provided that a minimum 6-foot-wide clear walking zone sheltered from the street with a landscape zone remains. A 10-foot wide walking zone is preferable.
    - a. Public Utility Easement Width (PNM and others) shall be a minimum of 10 feet.
    - b. Edge Zone shall be a minimum of 2 feet wide to accommodate parking meters, regulatory signs and wayfinding signs. The edge zone may include landscaping.
    - c. Landscaping Zone shall be a minimum of 7 feet wide, but may include the 2-foot wide edge zone. The landscaping zone shall be located between the clear walking zone and the curb:
      - Street trees shall be a maximum height of 25 feet at maturity if under utility wires.

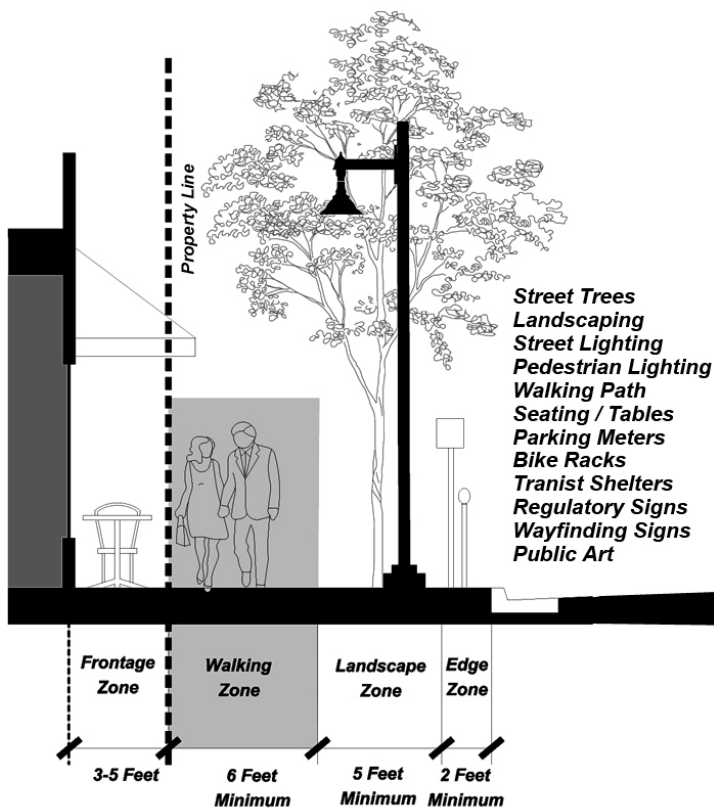


Figure 5.y: Pedestrian Realm Design

- Transit stops shall be 90 feet long at signalized street intersections and 50 feet long mid-block and at unsignalized street intersections.
  - Street Lighting shall be 30 feet high.
  - Pedestrian Lighting shall be 12-15 feet high.
- d. Walking Zone width shall be a minimum of 6 feet on Central Avenue, however a 10-foot or greater width is preferable:
- Cross slope shall be 1% or less including sections over driveways.
  - Running slope maximum shall be 5%.
  - When possible, ADA ramps shall be perpendicular to the curb.

